

PROPOSED SITE DEVELOPMENT PLANS

THOMPSON COMMONS

360 THOMPSON AVENUE

EAST HAVEN, CONNECTICUT

ZONE: R-1

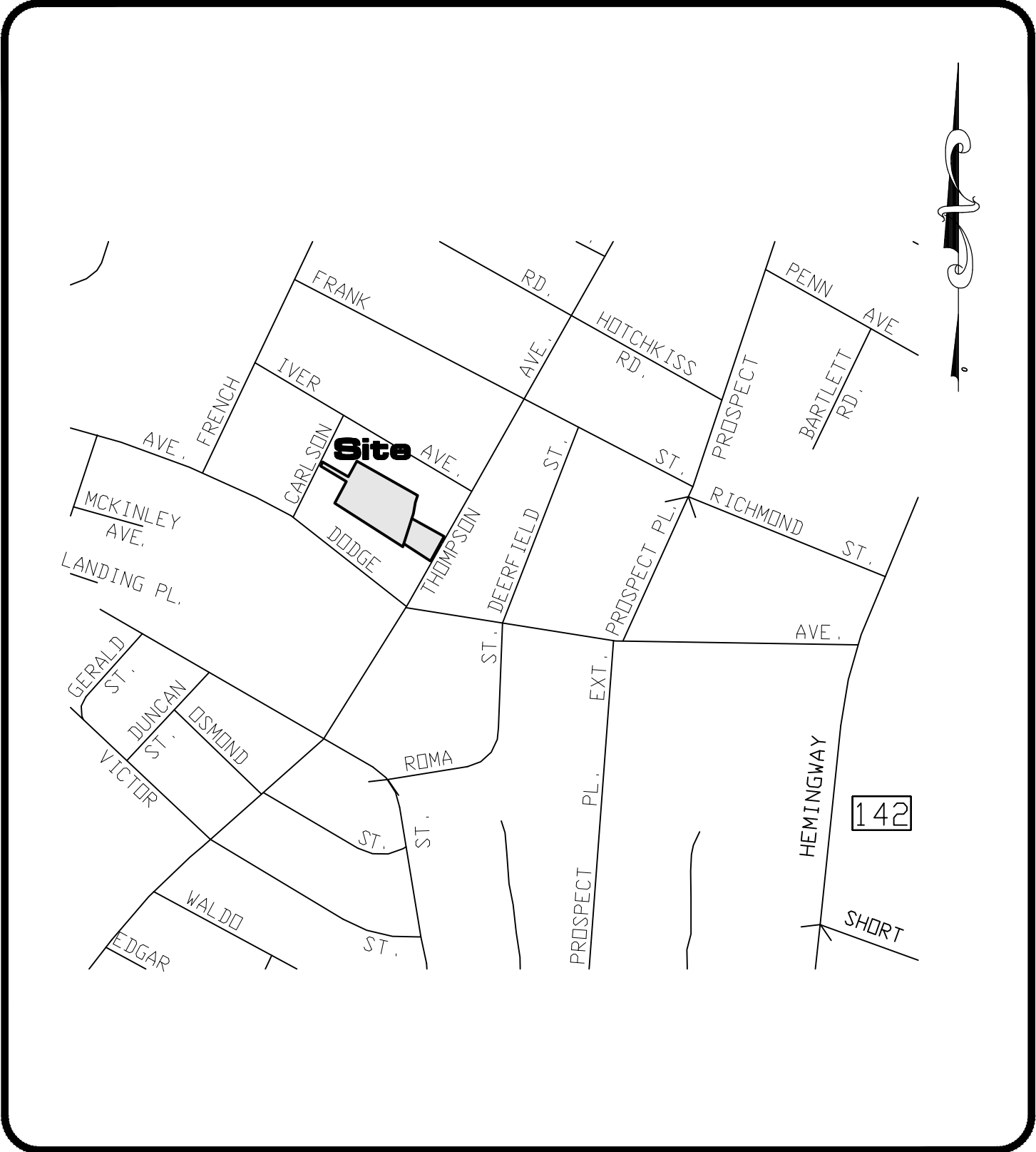
AGENCY SUBMISSION DRAWINGS

DATE: JANUARY 5, 2024

LIST OF DRAWINGS

CIVIL PLANS-	DATE - REVISION
EXISTING CONDITIONS/SURVEY	03/06/23
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SP3 SOIL EROSION & SEDIMENT CONTROL PLAN	01/05/24
SP4 LANDSCAPE PLAN	01/05/24
SP5 LIGHTING PLAN	01/05/24
SP6 SITE EROSION / PLANTING DETAILS	01/05/24
SP7 DRAINAGE / SEWER DETAILS	01/05/24
SP8 ROADWAY & WQC SRUCTURE DETAILS	01/05/24
ARCHITECTURAL PLANS-	
A-101 BUILDINGS A&C FIRST & SECOND FLOOR PLANS	09/03/23
A-102 BUILDINGS A&C FIRST & SECOND FLOOR PLANS	09/03/23
A-103 BUILDINGS B,E,F&G FIRST & SECOND FLOOR PLANS	09/03/23
A-104 BUILDINGS B,E,F&G THIRD FLOOR / ROOF PLANS	09/03/23
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A-205 BUILDING D EXTERIOR ELEVATIONS	09/03/23
A-206 BUILDING D EXTERIOR ELEVATIONS	09/03/23

LOCATION PLAN



OWNER:

OWNER OF RECORD: 13 CARLSON PLACE LLC
ASSESSORS MAP 180, BLOCK 2012, LOT 19.
360 THOMPSON AVENUE
ASSESSORS MAP 180, BLOCK 2011, LOT 25.
13 CARLSON PLACE
EAST HAVEN, CT. 06512

APPLICANT:

13 CARLSON PLACE LLC
c/o JOHN HALL
19 MARIETTA STREET
HAMDEN, CT. 06514

PROJECT PLANNING & DESIGN

CODESPOTI

& ASSOCIATES, P.C.

263 BOSTON POST ROAD STE#5
ORANGE, CONNECTICUT
06477

SITE PLANNING
LANDSCAPE ARCHITECTURE
ENGINEERING
LAND SURVEYING

GREW DESIGN

Architecture • Interior Design • Construction Management •
MILTON GREGORY GREW, AIA
Architect
241 Main St. South
Woodbury, Connecticut 06798
Tel: (203) 217-1074 E-mail: MG@GrewDesign.com

MAP REFERENCES:

1. "LAND BELONGING TO O. T. CARLSON DODGE AVENUE AND THOMPSON AVENUE EAST HAVEN, CT." MAY 926 1" = 40' BY H. MILLE.
2. "MAP OF TUTTLE GROVE EAST HAVEN, CT. OWNED AND DEVELOPED BY O. T. CARLSON AND SON" AUG. 1928 1" = 50' BY BY H. MILLE.

NOTES:

1. UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROLE TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO US. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455.
2. THIS SURVEY SHALL NOT BE USED WITH AN AFFIDAVIT OR LETTER OF ANY KIND FOR REUSE INCLUDING, BUT NOT LIMITED TO, FUTURE CLOSINGS, PLOT PLANS, CONSTRUCTION, LANDSCAPING, PERMITTING, ETC. IT IS A VIOLATION OF THE FEDERAL COPYRIGHT ACT TO COPY OR MODIFY AND REUSE THIS SURVEY BEYOND THE DATE AND SCOPE NOTED HEREIN. CODESPOTI & ASSOCIATES, P.C., AND/OR ITS AGENTS SHALL NOT BE LIABLE FOR USE OF THIS SURVEY BY ANY OTHER ENTITIES OR PERSONS FOR ANY PURPOSE BEYOND THE DATE & SCOPE.
3. THE SUBJECT PARCEL APPEARS TO LIE WITHIN FLOOD ZONE "X" AS DEPICTED ON FEMA'S FLOOD INSURANCE RATE MAP (FIRM), ENTITLED NEW HAVEN COUNTY, CONNECTICUT (ALL JURISDICTIONS); PANEL NO. 090004444 EFFECTIVE JULY 8, 2013 1"=500'. ANY FEMA FLOODPLAIN AND/OR FLOODWAY INFORMATION BY CODESPOTI & ASSOCIATES P.C. DOES NOT WARRANT THE ACCURACY OF THIS INFORMATION, AND MAKES NO REPRESENTATIONS UPON WHICH THE CLIENT SHOULD RELY IN CONNECTION WITH THE FLOOD ZONE OF THE SUBJECT PARCEL OR ANY FEMA FLOODPLAIN AND/OR FLOODWAY INFORMATION DEPICTED HEREON.
4. PLANIMETRICS AND TOPOGRAPHIC INFORMATION SHOWN HEREON HAS BEEN OBTAINED FROM GROUND SURVEYS BY CODESPOTI & ASSOCIATES, FIELD WORK COMPLETED DURING MARCH 2022.
5. OFFSETS (IF SHOWN) ARE FOR SURVEY REFERENCES ONLY AND ARE NOT TO BE USED IN CONSTRUCTION OF ANY TYPE.
6. THE SURVEYED PROPERTY IS SUBJECT BUT NOT LIMITED TO THE FOLLOWING FACTS AS REVEALED BY THE HEREON REFERENCED INFORMATION. THE INFORMATION SHOWN HEREON DOES NOT CONSTITUTE A TITLE SEARCH BY THE SURVEYOR. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT, AND MAY NOT REFLECT ALL FACTS THAT MAY BE REVEALED BY A CURRENT AND ACCURATE TITLE COMMITMENT.

NOTES CONTINUED:

7. THE SUBJECT PARCEL IS LOCATED IN THE R-1 ZONE OF EAST HAVEN. ZONING INFORMATION SHOWN HEREON IS TAKEN FROM RECORD PLANS, DEEDS AND TOWN ZONING ORDINANCES AND DOES NOT REPRESENT AN OPINION BY THE SURVEYOR.
8. UNLESS SPECIFICALLY NOTED HEREON, STORM AND SANITARY SEWER INFORMATION, INCLUDING PIPE INVERT, PIPE MATERIAL, AND PIPE SIZE, WAS OBSERVED AND MEASURED AT FIELD LOCATED STRUCTURES (MANHOLES/CATCH BASINS, ETC.) CONDITIONS CAN VARY FROM THOSE ENCOUNTERED AT THE TIMES WHEN AND LOCATIONS WHERE DATA IS OBTAINED, DESPITE MEETING THE REQUIRED STANDARD OF CARE, THE SURVEYOR CANNOT, AND DOES NOT WARRANT THAT PIPE MATERIAL AND/OR PIPE SIZE THROUGHOUT THE PIPE RUN ARE THE SAME AS THOSE OBSERVED AT EACH STRUCTURE, OR THAT THE PIPE RUN IS STRAIGHT BETWEEN THE LOCATED STRUCTURES.
9. ALL BUILDINGS AND STRUCTURES WERE LOCATED AND MEASURED AT VARIOUS LEVELS. THE SURVEYOR MAKES NO DETERMINATIONS OR GUARANTEES AS TO THE ABSENCE, EXISTENCE OR LOCATION OF UNDERGROUND STRUCTURES, FOUNDATIONS, FOOTINGS, PROJECTIONS, WALLS, TANKS, SEPTIC SYSTEMS, ETC. NO TEST PITS, EXCAVATIONS OR GROUND PENETRATING RADAR WERE PERFORMED AS PART OF THIS SURVEY.
10. IF DEPICTED, ALL ELEVATIONS / TOPOGRAPHY BASED ON NAVD 1988 GPS DERIVED.
11. RECORD MAPS, DEEDS AND OTHER DRAWINGS IN THE THE FILES OF VARIOUS DEPARTMENTS OF THE TOWN OF EAST HAVEN EVIDENCE DISCREPANCIES, IN SOME CASES SIGNIFICANT, WITH RESPECT TO LINES OF TITLE (INCLUDING STREET LINES). THE LINES OF TITLE EVIDENCED IN THE DOCUMENTS REFERENCED HEREIN DO NOT NECESSARILY AGREE WITH PINS, PIPES, MONUMENTS, ETC. FOUND OR WITH OTHER PHYSICAL EVIDENCE FOUND. THE TOWN OF EAST HAVEN HAS NOT ESTABLISHED STREET LINES IN THE SUBJECT AREA. THE PROPERTY LINES, INCLUDING THE STREET LINES DEPICTED AND NOTED HEREON REPRESENT THE APPARENT "BEST FIT" OF THESE CONFLICTING ELEMENTS AND ARE CONSIDERED TO BE THOSE WHICH ARE TO BE MOST LIKELY CORRECT AND ARE SUBJECT TO ANY REVISION OR CORRECTION WHICH MAY BE REQUIRED BY APPROPRIATE LEGAL PROCEEDINGS OR BY DISCOVERY OF ADDITIONAL INFORMATION.
12. SURVEY REPORT. THE ABOVE ANALYSIS AND RESULTS ARE A REASONABLE OPINION BASED ON A DEFENDABLE SOLUTION TO A COMPLICATED SITUATION. ALTHOUGH THIS IS AN OPINION THAT CAN BE SUPPORTED BY LOGIC AND INFORMATION THAT A SURVEYOR OF ORDINARY PRUDENCE AND CARE WOULD USE UNDER SIMILAR CIRCUMSTANCES, IT DOES NOT RESOLVE THE FACT THAT UNCERTAINTY IN THE POSITION OF THE ORIGINAL BOUNDARIES WILL CONTINUE TO EXIST. AS A CONSEQUENCE, ANOTHER SURVEYOR EXERCISING ORDINARY PRUDENCE USING THE SAME INFORMATION MAY AND COULD VERY WELL ARRIVE AT A DIFFERENT CONCLUSION AND LOCATION OF THE BOUNDARIES.

SCHEDULE "B" BULK STANDARDS		
ZONING DATA R-1	REQUIRED	EXISTING
MIN. LOT AREA	7,200 Sq.Ft.	#13 34,775 Sq.Ft.±
MIN. SQUARE DIM.	60'	less than 60'
MIN. LOT FRONTAGE	60'	133.75'
MAX. HEIGHT STORIES	3	1/2
MAX. HEIGHT	40'	40'
MIN. FRONT YARD SETBACK	25'	5.0'
MIN. SIDE YARD	10'	3.0'
MIN. REAR YARD	20'	23.2'
MAX. LOT COVERAGE	25%	17.7% (6,174sf)
MAX. FLOOR AREA	50%	17.7%(3,883±+2,488sf)
MIN. FLOOR AREA EACH UNIT	900 sf	3,883 sf +2,488 sf
*Pre-existing non-conforming		

ALL ZONING DATA SUBJECT TO VERIFICATION BY CITY OF EAST HAVEN

SCHEDULE "B" BULK STANDARDS		
ZONING DATA R-1	REQUIRED	EXISTING
MIN. LOT AREA	7,200 Sq.Ft.	#360 10,784 Sq.Ft.±
MIN. SQUARE DIM.	60'	less than 60'
MIN. LOT FRONTAGE	60'	86.60'
MAX. HEIGHT STORIES	3	1.5
MAX. HEIGHT	40'	40'
MIN. FRONT YARD SETBACK	25'	24.9'±
MIN. SIDE YARD	10'	16.6'±
MIN. REAR YARD	20'	57.3'±
MAX. LOT COVERAGE	25%	13.0% (1,400sf)
MAX. FLOOR AREA	50%	15.1%(1,627sf)
MIN. FLOOR AREA EACH UNIT	900 sf	
*Pre-existing non-conforming		

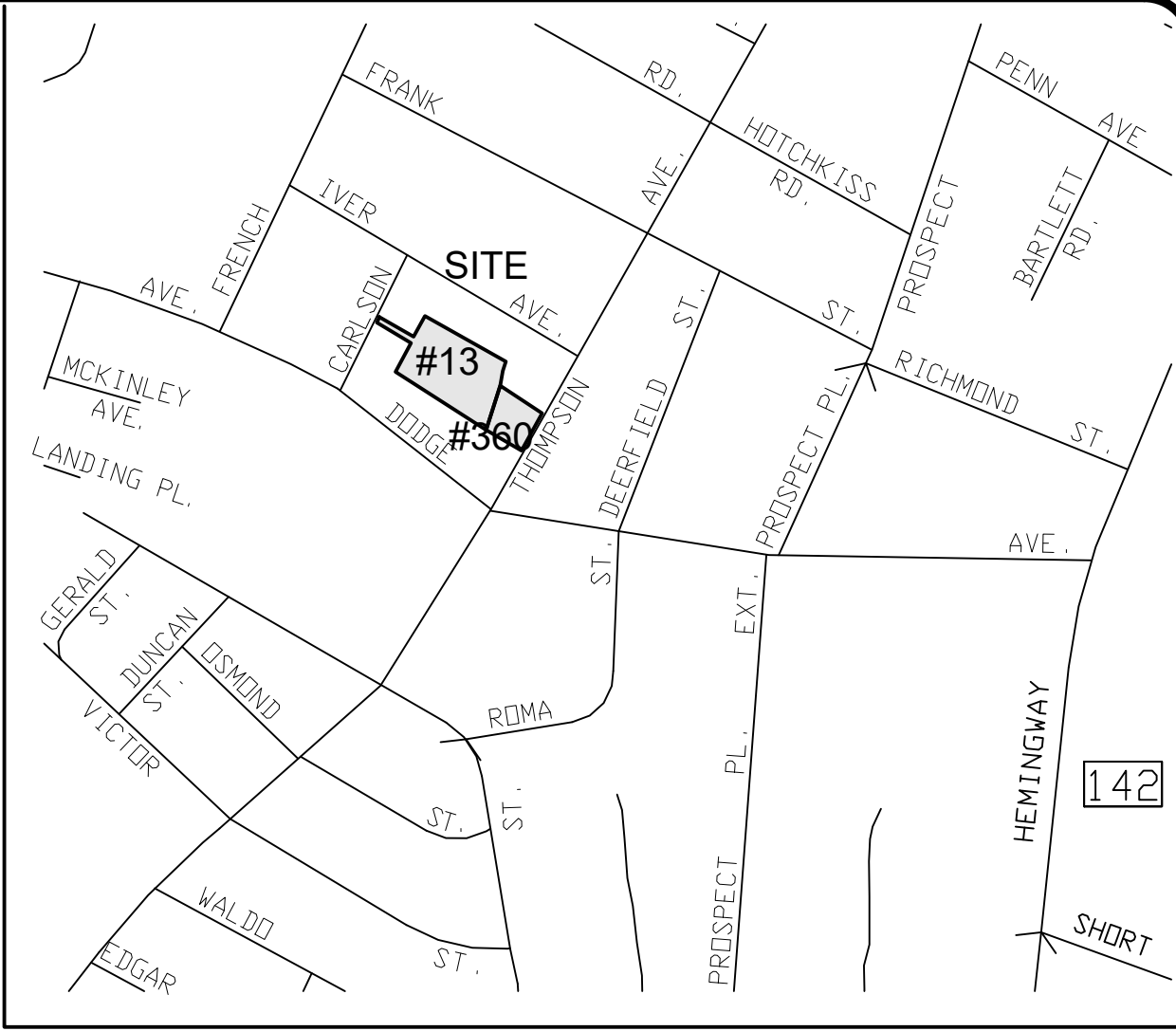
ALL ZONING DATA SUBJECT TO VERIFICATION BY CITY OF EAST HAVEN

OWNER OF RECORD: 13 CARLSON PLACE LLC
13 CARLSON PLACE
EAST HAVEN, CT.
(VOL. 2813, PG.1 EHLR)

TOTAL PARCEL AREA: 34,775 SQ.FT.±
0.80 AC.±
ASSESSORS MAP 180, BLOCK 2011, LOT 25.
PARCEL IS IN ZONE: R-1

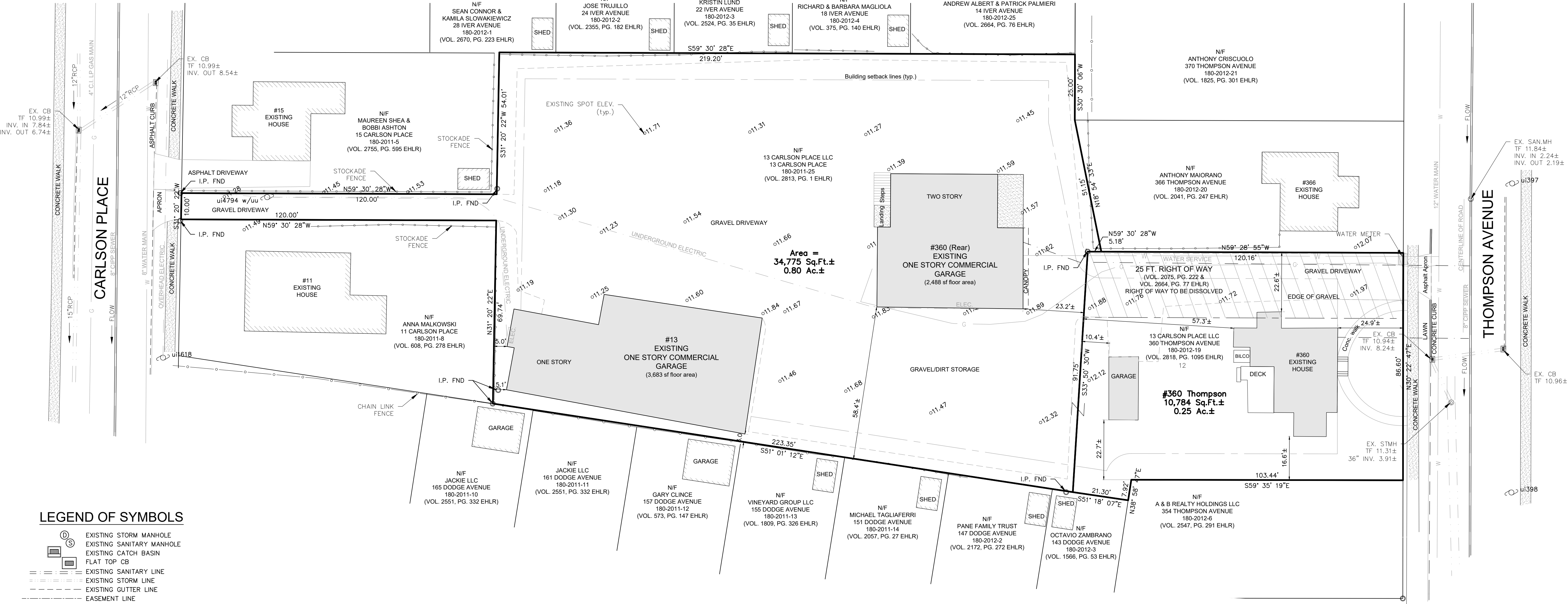
OWNER OF RECORD: 13 CARLSON PLACE LLC
360 THOMPSON AVENUE
EAST HAVEN, CT.
(VOL. 2818, PG. 1095 EHLR)

TOTAL PARCEL AREA: 10,784 SQ.FT.±
0.25 AC.±
ASSESSORS MAP 180, BLOCK 2012, LOT 19.
PARCEL IS IN ZONE: R-1



LOCATION MAP

SCALE: 1" = 500'



LEGEND OF SYMBOLS

- EXISTING STORM MANHOLE
EXISTING SANITARY MANHOLE
EXISTING CATCH BASIN
FLAT TOP CB
EXISTING SANITARY LINE
EXISTING STORM LINE
EXISTING GUTTER LINE
EASEMENT LINE
CHAIN LINK FENCE
UTILITY POLE
GUY ANCHOR
WATER METER / VALVE
GAS METER/VALVE
AIR CONDITIONER UNITS/CONC. PAD
MONUMENT FOUND
EXISTING LAMP POST
HYDRANT
WATER SHUT OFF
BOLLARD
IRON PIPE/REBAR
UNDERGROUND ELECTRIC
UNDERGROUND TELEPHONE
UNDERGROUND WATER
UNDERGROUND GAS
UNDERGROUND FOOTING DRAIN
UNDERGROUND SANITARY LATERAL
SPOT ELEVATION

GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.

THIS MAP IS VALID AND AUTHORIZED BY THE BELOW SIGNATORY WHEN AND ONLY WHEN ACCOMPANIED WITH A RED LIVE SIGNATURE, A STAMPED SEAL IN BLUE INK AND A LIVE EMBOSSED SEAL OVER THE SIGNATURE'S NAME, ANY OTHER REPRODUCTIONS SHALL BE CONSIDERED UNAUTHORIZED.

NOTES:

1. THIS MAP AND SURVEY HAS BEEN PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300B-1 THRU 20-300B-20, THE MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT EFFECTIVE JUNE 21, 1996, AMENDED OCTOBER 26, 2018. ENDORSED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC.:
A) THE HORIZONTAL ACCURACY CONFORMS TO CLASS "A-2"
B) THE BOUNDARY DETERMINATION CATEGORY IS A "RESURVEY"
C) THE TYPE OF SURVEY IS A "PROPERTY SURVEY"

TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

JOSEPH M. CODESPOTI DATE L.S.#70177

THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE AND SEAL.

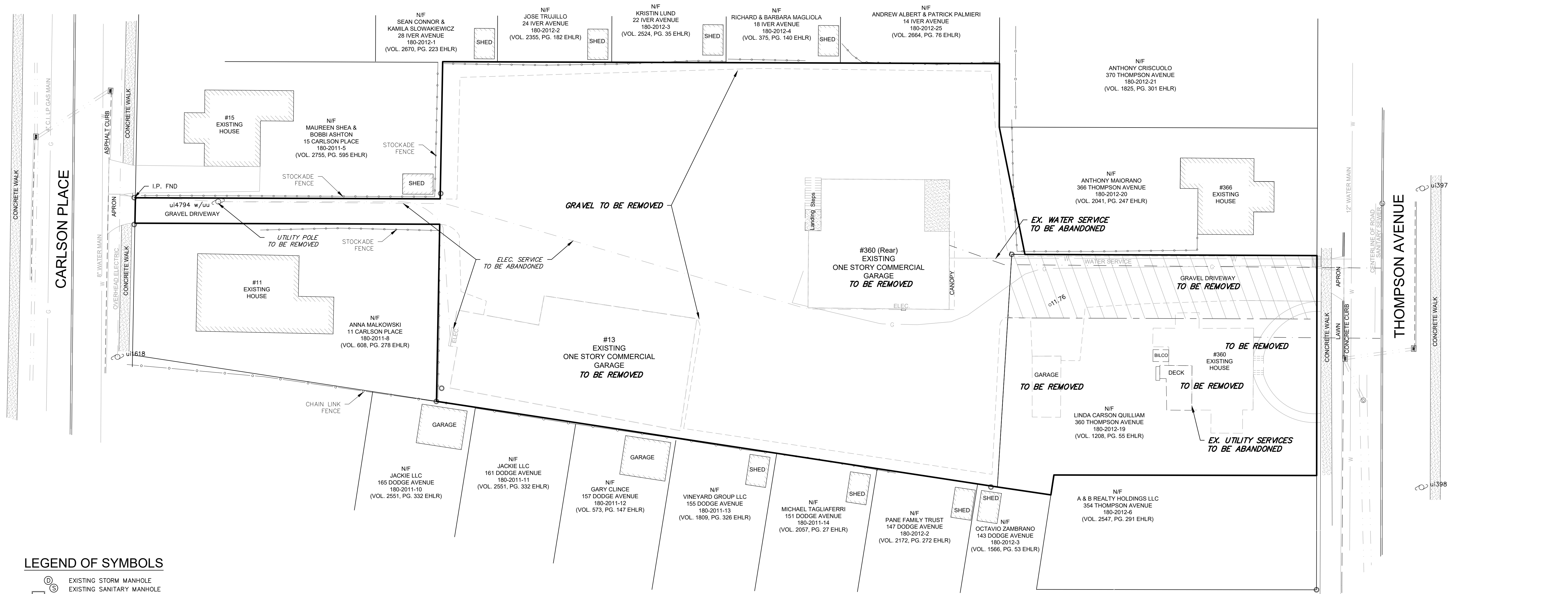
PROPERTY SURVEY
360 THOMPSON AVENUE
PREPARED FOR
13 CARLSON PLACE LLC
EAST HAVEN, CONNECTICUT

EXISTING CONDITIONS/
SURVEY

DWG #	CHECKED
D4630	
CAD FILE	CAD VER
4632	C3D2014
DATE	03/06/23
SCALE	1"=20'
JOB NO.	4632
SHEET	

EC/SV

\\d2\Shared\Autocad Projects\GIS\3D_2014\4452-360 Thompson\4452.dwg, Demolition plan, 1/9/2024, 12:40:17 PM, 1:1



LEGEND OF SYMBOLS

- EXISTING STORM MANHOLE
- EXISTING SANITARY MANHOLE
- EXISTING CATCH BASIN
- FLAT TOP CB
- EXISTING SANITARY LINE
- EXISTING STORM LINE
- EXISTING GUTTER LINE
- EASEMENT LINE
- CHAIN LINK FENCE
- UTILITY POLE
- GUY ANCHOR
- WATER METER / VALVE
- GAS METER/VALVE
- AIR CONDITIONER UNITS/CONC. PAD
- MONUMENT FOUND
- EXISTING LAMP POST
- HYDRANT
- WATER SHUT OFF
- BOLLARD
- IRON PIPE/REBAR
- UNDERGROUND ELECTRIC
- UNDERGROUND TELEPHONE
- UNDERGROUND WATER
- UNDERGROUND GAS
- UNDERGROUND FOOTING DRAIN
- UNDERGROUND SANITARY LATERAL
- SPOT ELEVATION
- EXISTING 2' CONTOUR LINE
- EXISTING 10' CONTOUR LINE

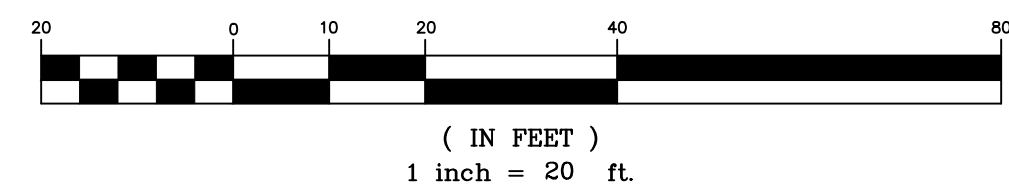
OWNER OF RECORD: 13 CARLSON PLACE LLC
13 CARLSON PLACE
EAST HAVEN, CT.
(VOL. 2813, PG.1 EHLR)

TOTAL PARCEL AREA: 34,775 SQ.FT.±
0.80 AC.±
ASSESSORS MAP 180, BLOCK 2011, LOT 25.
PARCEL IS IN ZONE: R-1

OWNER OF RECORD: 13 CARLSON PLACE LLC
360 THOMPSON AVENUE
EAST HAVEN, CT.
(VOL. 2818, PG. 1095 EHLR)

TOTAL PARCEL AREA: 10,784 SQ.FT.±
0.25 AC.±
ASSESSORS MAP 180, BLOCK 2012, LOT 19.
PARCEL IS IN ZONE: R-1

GRAPHIC SCALE



REVISIONS	BY
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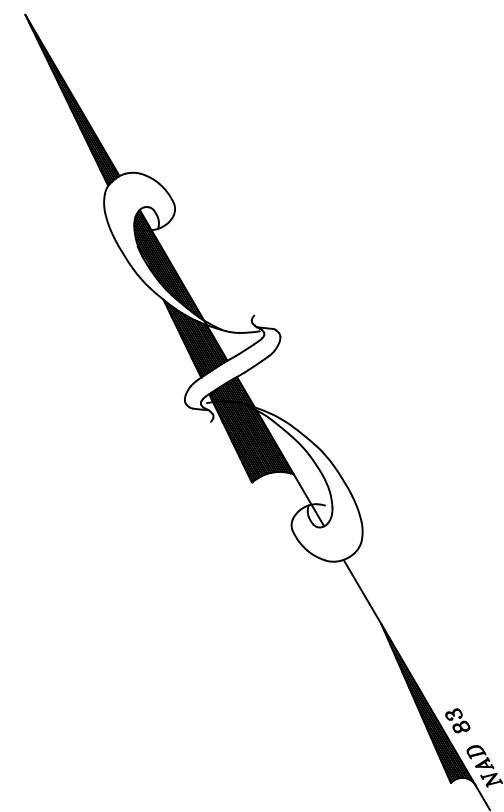
CODESPOTI & ASSOCIATES P.C.
SITE PLANNING
ARCHITECTURE
ENGINEERING
SURVEYING
263 BOSTON POST ROAD, SUITE 5
ORANGE, CONNECTICUT 06477
TEL: 203-799-0011 FAX: 203-799-0011

ZONING LOCATION SURVEY
360 THOMPSON AVENUE
PREPARED FOR
13 CARLSON PLACE LLC
EAST HAVEN, CONNECTICUT

DEMOLITION PLAN

DWG #	CHECKED
D4630	
CAD FILE	CAD VER
4632	C3D2014
DATE	01/05/24
SCALE	1"=20'
JOB NO.	4632
SHEET	

DEM



SCHEDULE "B" BULK STANDARDS				
ZONING DATA R-1	REQUIRED/ALLOWED	EXISTING	EXISTING	PROPOSED B-30G
MIN. LOT AREA	7,200 S.F.	#13 CARLSON 34,775 S.F. ± / 0.8 AC.	360 THOMPSON 10,784 S.F. ± / 0.25 AC.	45,559 S.F. ± / 1.05 AC.
MIN. SQUARE DIM.	60'	less than 60'	60' ±	N/A
MIN. LOT FRONTAGE	60'	133.75'		N/A
MAX. HEIGHT STORIES	3	1 1/2	3	3
MAX. HEIGHT	40'		38' ±	35' ±
MIN. FRONT YARD SETBACK	25'	5.0'		25'
MIN. SIDE YARD	10'	3.0'		8.4' Min.
MIN. REAR YARD	20'	23.2'		N/A
MAX. LOT COVERAGE	25%	17.7% (6,174 S.F.)		22.9% (10,450 S.F.)
MAX. FLOOR AREA	50%	17.7% (3,883 ± 2,488 sf)		61.5% (182,852, 6,419 ± 28,034 sf)
MIN. FLOOR AREA EACH UNIT	900 sf	3,883 sf ± 2,488 sf		1,390 S.F.
PARKING: HB6107 2/2BR UNIT	2x20 = 40			20 GARAGE + 30 DRIVEWAY + 7 SURFACE = 57 TOTAL

*Pre-existing non-conforming
ALL ZONING DATA SUBJECT TO VERIFICATION BY CITY OF EAST HAVEN

OWNER OF RECORD: 13 CARLSON PLACE LLC
360 THOMPSON AVENUE
EAST HAVEN, CT.
(VOL. 2818, PG. 1095 EHLR)

OWNER OF RECORD: 13 CARLSON PLACE LLC
13 CARLSON PLACE
EAST HAVEN, CT.
(VOL. 2813, PG.1 EHLR)

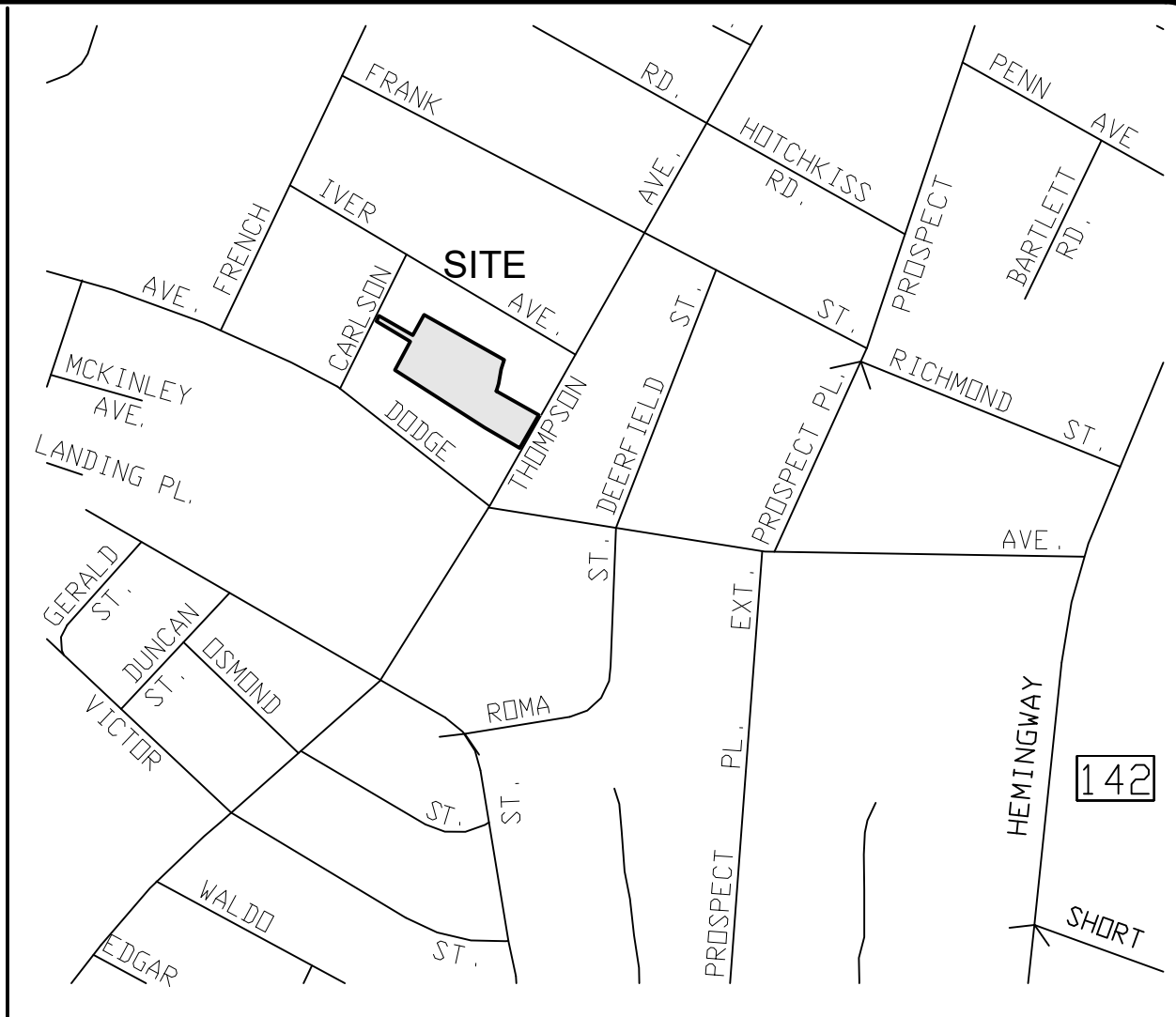
TOTAL PARCEL AREA: 10,784 SQ.FT. ±
0.25 AC. ±

TOTAL PARCEL AREA: 34,775 SQ.FT. ±
0.80 AC. ±

ASSESSORS MAP 180, BLOCK 2012, LOT 19.
PARCEL IS IN ZONE: R-1

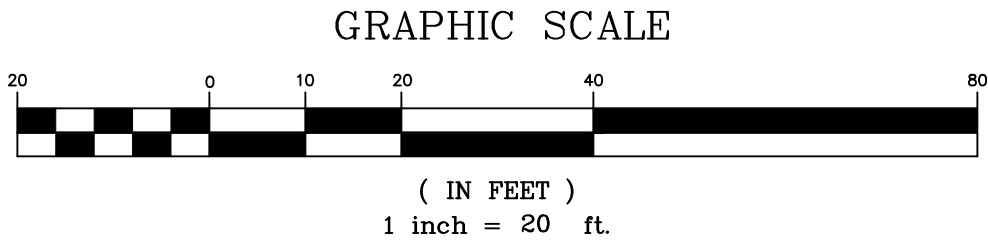
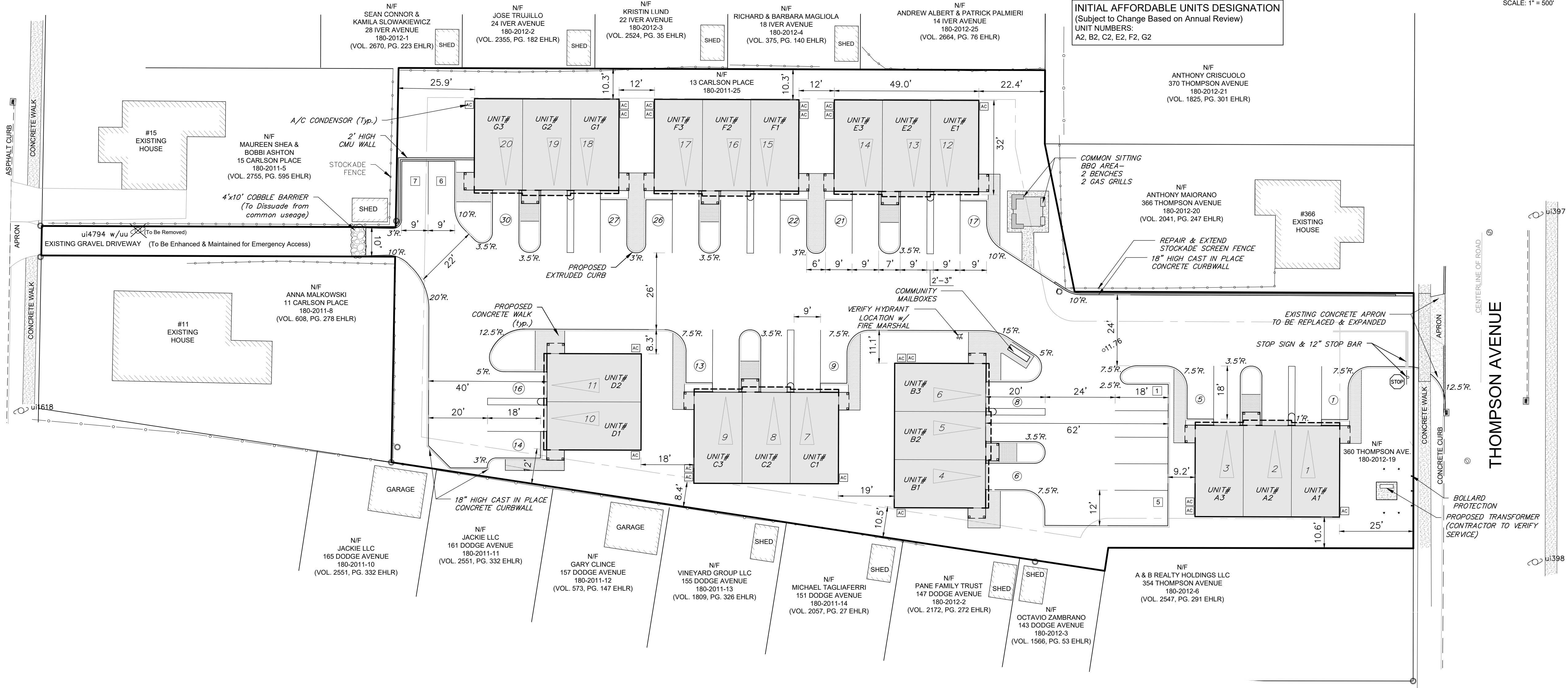
ASSESSORS MAP 180, BLOCK 2011, LOT 25.
PARCEL IS IN ZONE: R-1

INITIAL AFFORDABLE UNITS DESIGNATION
(Subject to Change Based on Annual Review)
UNIT NUMBERS:
A2, B2, C2, E2, F2, G2



LOCATION MAP
SCALE: 1" = 500'

CARLSON PLACE



AGENCY SUBMISSION DRAWINGS
NOT FOR CONSTRUCTION

PROPOSED SITE DEVELOPMENT PLANS

THOMPSON COMMONS

PREPARED FOR

13 CARLSON PLACE LLC

360 THOMPSON AVENUE
EAST HAVEN, CONNECTICUT

SITE PLAN

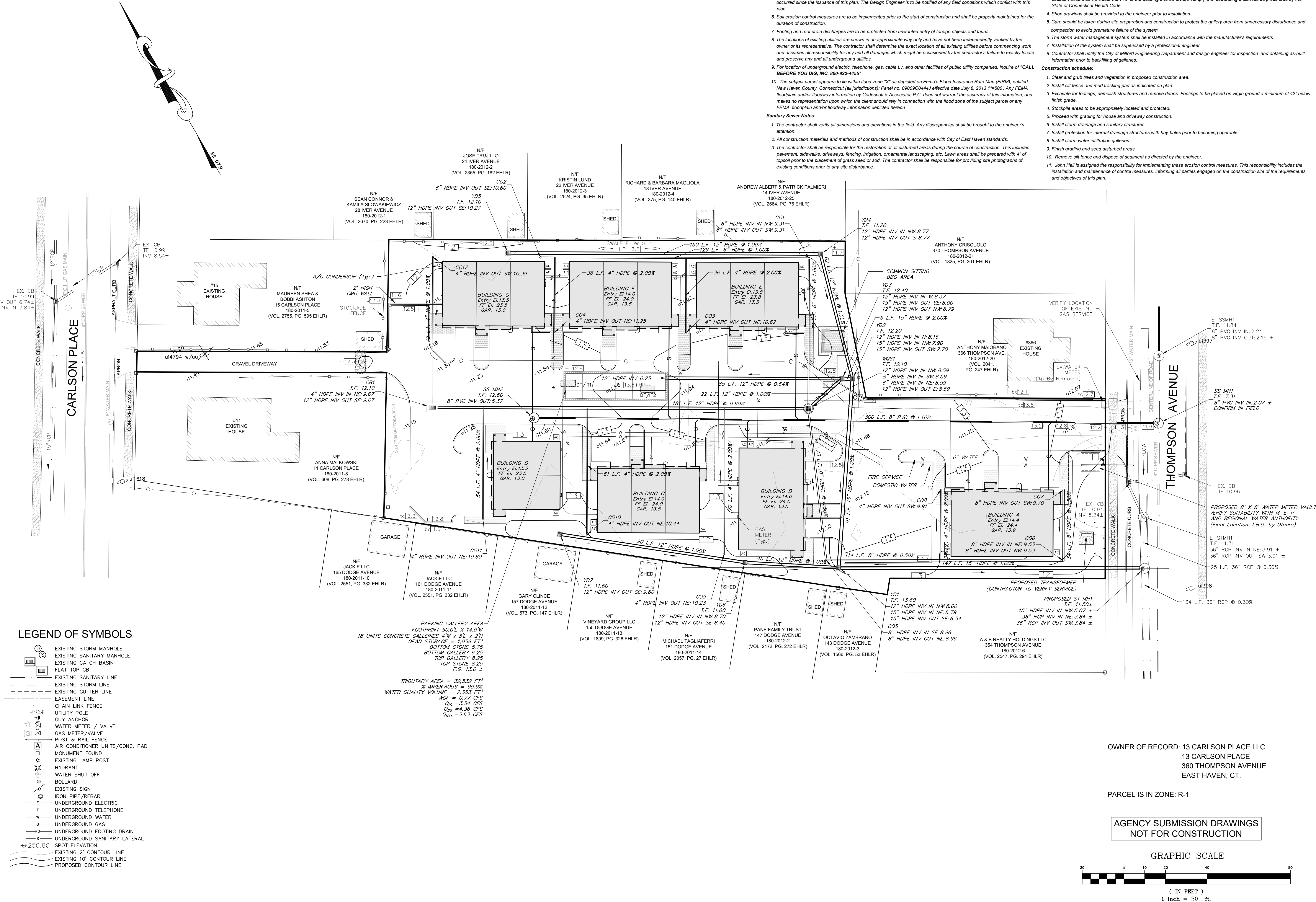
REVISIONS
#####

CODESPOTI
& ASSOCIATES P.C.

245 WEST MAIN STREET, SUITE 5
ORANGE, CONNECTICUT 06477
TEL: 203-799-1400
FAX: 203-799-3011

CAD FILE
4632
DATE
01/05/24
SCALE
AS NOTED
JOB NO.
4632
SHEET

SP1



General Notes:

- All construction methods, materials and system installation are to conform to all applicable local and state health codes.
- Topographic information based upon field survey by Codespot & Associates. Vertical datum is NAVD 1988.
- Property is to be served by public water and sewer.
- Benchmark to be set by engineer/surveyor prior to the start of construction.
- It is the contractor's responsibility to verify all on-site and off-site field conditions and determine that no changes have occurred since the issuance of this plan. The Design Engineer is to be notified of any field conditions which conflict with this plan.
- Soil erosion control measures are to be implemented prior to the start of construction and shall be properly maintained for the duration of construction.
- Footing and roof drain discharges are to be protected from unwanted entry of foreign objects and fauna.
- The locations of existing utilities are shown in an approximate way only and have not been independently verified by the owner or its representative. The contractor shall determine the exact location of all existing utilities before commencing work and assumes all responsibility for any and all damages which might be occasioned by the contractor's failure to exactly locate and preserve any and all underground utilities.
- For location of underground electric, telephone, gas, cable t.v. and other facilities of public utility companies, inquire of "CALL BEFORE YOU DIG, INC. 800-922-4455".
- The subject parcel appears to lie within flood zone "X" as depicted on Fema's Flood Insurance Rate Map (FIRM), entitled New Haven County, Connecticut (all jurisdictions); Panel no. 09090C044J effective date July 8, 2013 1"=500'. Any FEMA floodplain and/or floodway information by Codespot & Associates P.C. does not warrant the accuracy of this information, and makes no representation upon which the client should rely in connection with the flood zone of the subject parcel or any FEMA floodplain and/or floodway information depicted herein.

Sanitary Sewer Notes:

- The contractor shall verify all dimensions and elevations in the field. Any discrepancies shall be brought to the engineer's attention.
- All construction materials and methods of construction shall be in accordance with City of East Haven standards.
- The contractor shall be responsible for the restoration of all disturbed areas during the course of construction. This includes pavement, sidewalks, driveways, fencing, irrigation, ornamental landscaping, etc. Lawn areas shall be prepared with 4" of topsoil prior to the placement of grass seed or sod. The contractor shall be responsible for providing site photographs of existing conditions prior to any site disturbance.

Storm Water Gallery Notes:

- Stormwater galleries to be sized to store and infiltrate the volume of stormwater runoff generated by a 1.0" rainfall event. The entire roof area from each building shall be directed to the galleries. Refer to drainage report for watershed map. The bottom of system shall provide a minimum 12" separating distance to seasonal high groundwater.
- No runoff shall be directed to the galleries until the entire tributary drainage area has been stabilized (paved/landscaped).
- Locations of galleries are subject to field conditions. All elevations shall be confirmed by the contractor prior to installation. Location should be no closer than 10' to the building and otherwise comply with separating distances as prescribed by the State of Connecticut Health Code.
- Shop drawings shall be provided to the engineer prior to installation.
- Care should be taken during site preparation and construction to protect the gallery area from unnecessary disturbance and compaction to avoid premature failure of the system.
- The storm water management system shall be installed in accordance with the manufacturer's requirements.
- Installation of the system shall be supervised by a professional engineer.
- Contractor shall notify the City of Milford Engineering Department and design engineer for inspection and obtaining as-built information prior to backfilling of galleries.
- Construction schedule:**
 - Clear and grub trees and vegetation in proposed construction area.
 - Install silt fence and mud tracking pad as indicated on plan.
 - Excavate for footings, demolish structures and remove debris. Footings to be placed on virgin ground a minimum of 42" below finish grade.
 - Stockpile areas to be appropriately located and protected.
 - Proceed with grading for house and driveway construction.
 - Install storm drainage and sanitary structures.
 - Install protection for internal drainage structures with hay-bales prior to becoming operable.
 - Install storm water infiltration galleries.
 - Finish grading and seed disturbed areas.
 - Remove silt fence and dispose of sediment as directed by the engineer.
- John Hall is assigned the responsibility for implementing these erosion control measures. This responsibility includes the installation and maintenance of control measures, informing all parties engaged on the construction site of the requirements and objectives of this plan.

REVISIONS

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CODESPOT & ASSOCIATES P.C.
SITE PLANNING
LANDSCAPE ARCHITECTURE
SURVEYING

13 CARLSON PLACE, SUITE 5
EAST HAVEN, CONNECTICUT 06427
TEL: 203-799-1400
FAX: 203-799-0011

PROPOSED SITE DEVELOPMENT PLANS

THOMPSON COMMONS

PREPARED FOR

13 CARLSON PLACE LLC

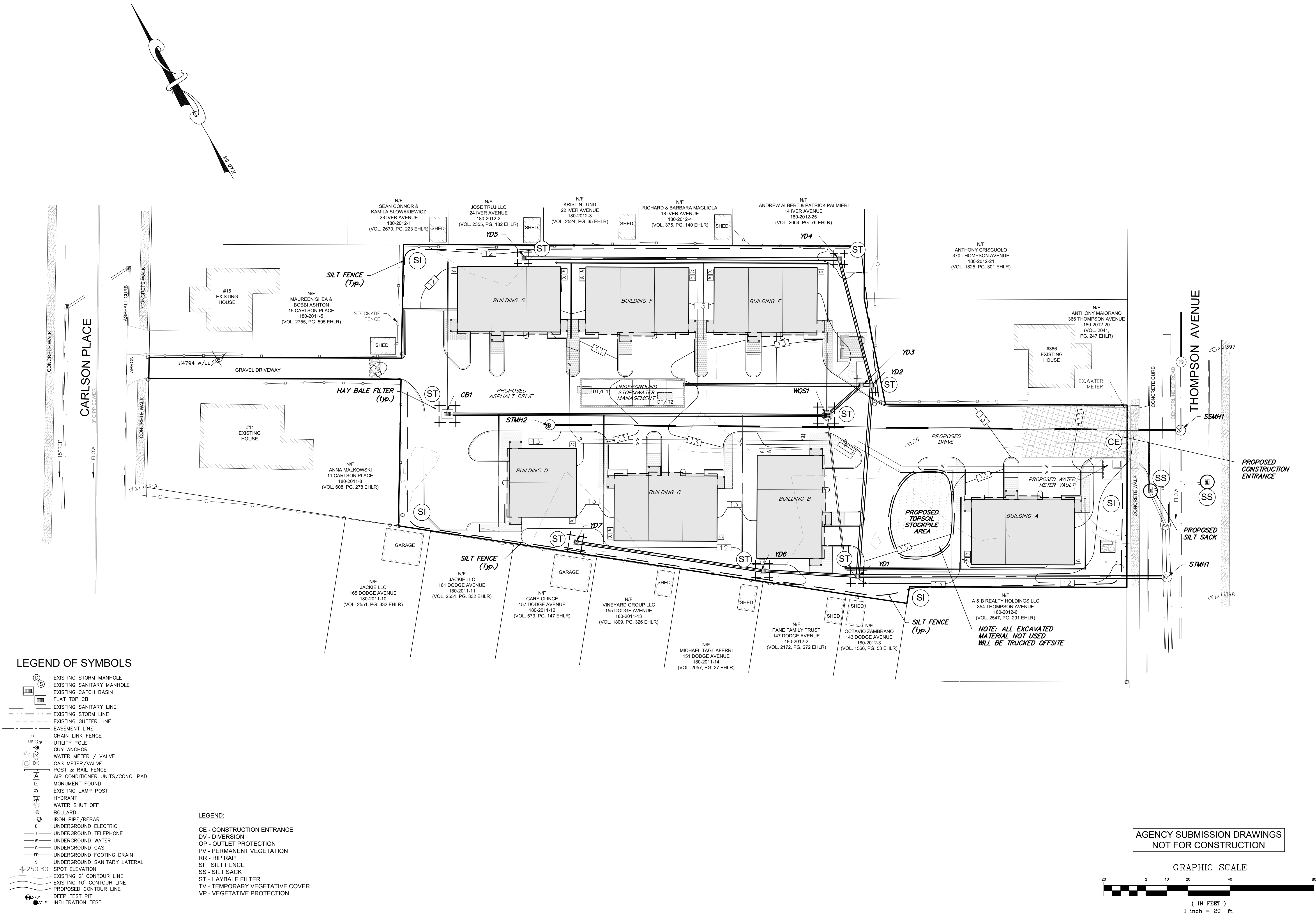
360 THOMPSON AVENUE
EAST HAVEN, CONNECTICUT

SITE GRADING & UTILITY PLAN

CAD FILE
4632
DATE
01/05/24
SCALE
AS NOTED
JOB NO.
4632
SHEET

SP2

\\p025\Shared\Autocad Projects\Civil3D 2014\4632-360 Thompson\4632-Civil.dwg, SPS Erosion plan, 1/9/2024 12:40:42 PM, 1:1



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REVISIONS

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CODESPOT
& ASSOCIATES P.C. SURVEYING

24 WEST HARTFORD AVENUE, SUITE 5
HARTFORD, CONNECTICUT 06177
TEL. 203-799-1400
FAX 203-799-3011

PROPOSED SITE DEVELOPMENT PLANS

THOMPSON COMMONS

PREPARED FOR

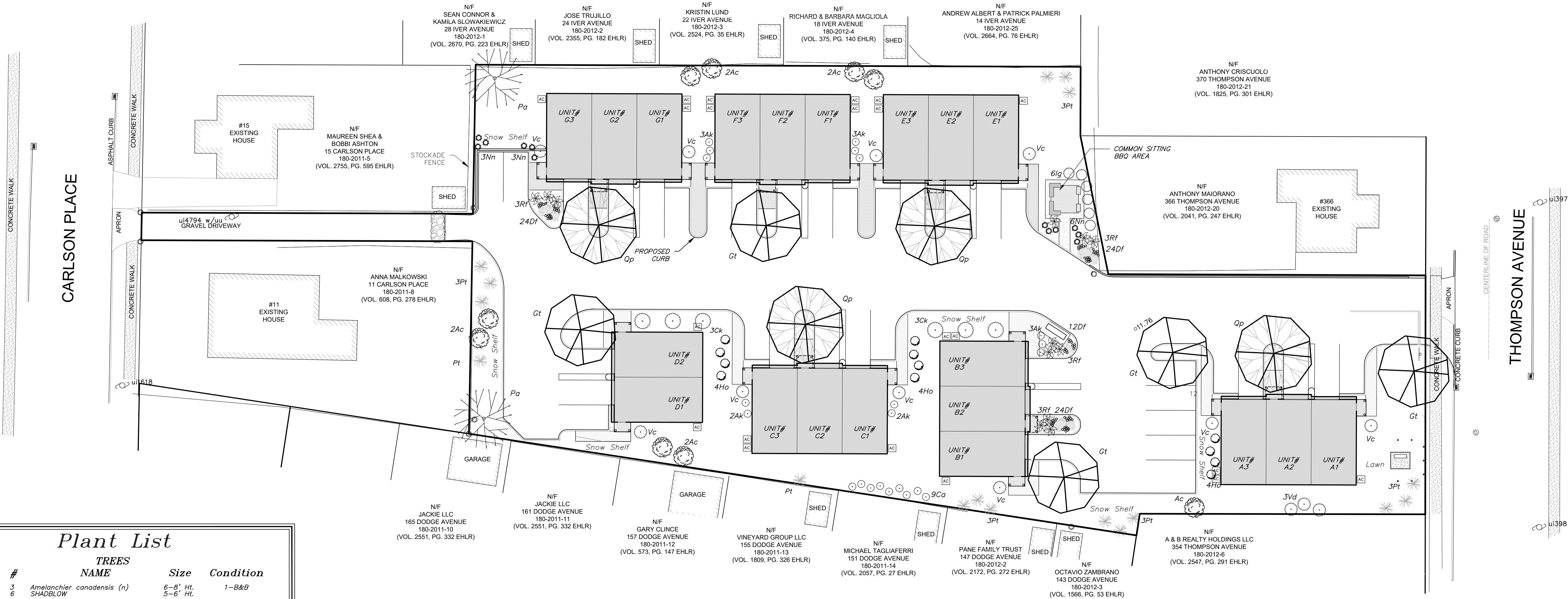
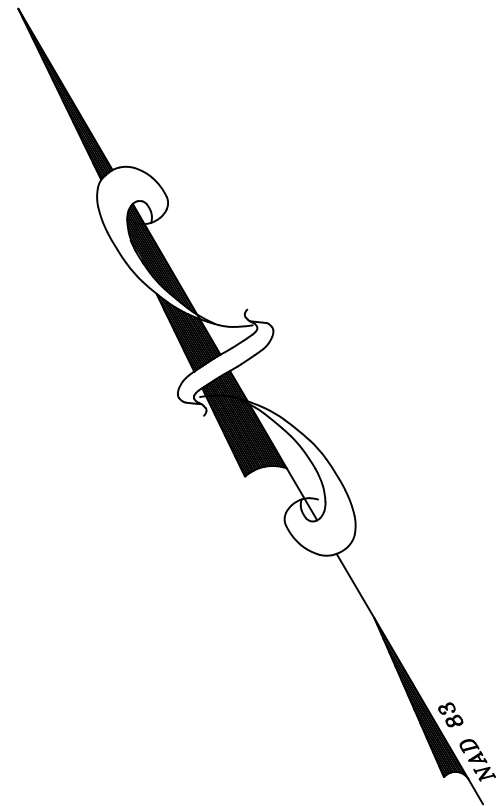
13 CARLSON PLACE LLC

360 THOMPSON AVENUE
EAST HAVEN, CONNECTICUT

SOIL EROSION & SEDIMENT CONTROL PLAN

CAD FILE
4632
DATE
01/05/24
SCALE
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4632
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SP3



Plant List

TREES			
SYMBOL	#	NAME	Size Condition
Ac	3	Amelanchier canadensis (n)	6-8' Ht. 1-B&B
Ac*	6	SHADBLOW	5-6' Ht. CG/B&B
Ck	6	Cornus kousa	6-8' Ht. CG/B&B
Gt	5	CHINESE DOGWOOD	2.5-3' cal. 2-B&B
Pa	2	Gleditsia triacanthos inermis SHADEMASTER HONEYLOCUST (n)	2.5-3' cal. 2-B&B
Qp	4	Platanus acerifolia 'Bloodgood' BLOODGOOD LONDON PLANE	2-2.5' cal. 2-B&B
Pt	17	Quercus palustris PIN OAK (n)	5-6' Ht. 3-B&B
		Pinus thunbergiana JAPANESE BLACK PINE	>6" Cal. 4
		Existing Tree to Remain SPECIES VARY	
1- CLUMP FORM MINIMUM 5 CANES			
2- STRAIGHT TRUNK, SINGLE LEADER, NO LIMBS BELOW 6 FT.			
3- STRAIGHT TRUNK, SINGLE LEADER, LOW BRANCHED			
4- SEE EXISTING CONDITIONS PLAN OR LANDSCAPE PLAN			
SHRUBS			
Ak	13	Azalea kurume Delaware Valley White	2-2.5' Ht. CG
Ca	9	DELaware VALLEY WHITE AZALEA Cytisus alpinifolia (n) SUMMERSWEET	2-2.5' Ht. CG
Ho	12	Hydrangea macrophylla ENDLESS SUMMER HYDRANGEA	2-2.5' spr. CG/B&B
Ig	6	Ilex glabra (n) INKBERRY	2.5-3' Ht. CG/B&B
Vc	10	Viburnum carlesii CARLESII VIBURNUM	2-2.5' Ht. CG/B&B
Vd	3	Viburnum dentatum (n) ARROWWOOD VIBURNUM	2-3' Ht. CG/B&B
GRASSES, GROUNDCOVER			
Rf	12	Rosa 'polyantha' THE FAIRY PINK	2-3' Ht. CG
Nn	12	Nipponanthemum nipponicum MONTAUK DAISY	2-3' Ht. CG
Df	84	Narcissus Amaryllidaceae DAFFODILS	BULB
	7	LANDSCAPE BOULDERS	

NOTES:
1) IF THERE ARE ANY CONFLICTS BETWEEN PLANT LIST TOTALS AND DRAWINGS THE HIGHER NUMBER WILL PREVAIL.
2) WHEN A COMPARABLE NATIVE VARIETY IS AVAILABLE, IT SHOULD BE UTILIZED IN LIEU OF THE SPECIFIED MATERIAL.

OWNER OF RECORD: 13 CARLSON PLACE LLC
13 CARLSON PLACE
EAST HAVEN, CT.

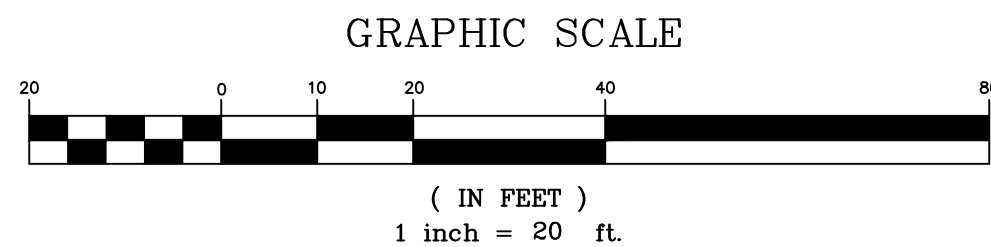
13 CARLSON PLACE LLC
360 THOMPSON AVENUE
EAST HAVEN, CT.

PARCEL AREAS: 34,775 SQ.FT.±
0.80 AC.±

10,784 SQ.FT.±
0.248 AC.±

TOTAL PARCEL AREA: 45,559 SQ.FT.±
1.05 AC.±

PARCEL IS IN ZONE: R-1



AGENCY SUBMISSION DRAWINGS
NOT FOR CONSTRUCTION

REVISIONS

SITE PLANNING
LANDSCAPE ARCHITECTURE
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PROPOSED SITE DEVELOPMENT PLANS
THOMPSON COMMONS
PREPARED FOR
13 CARLSON PLACE LLC
EAST HAVEN, CONNECTICUT
360 THOMPSON AVENUE

LANDSCAPE PLAN

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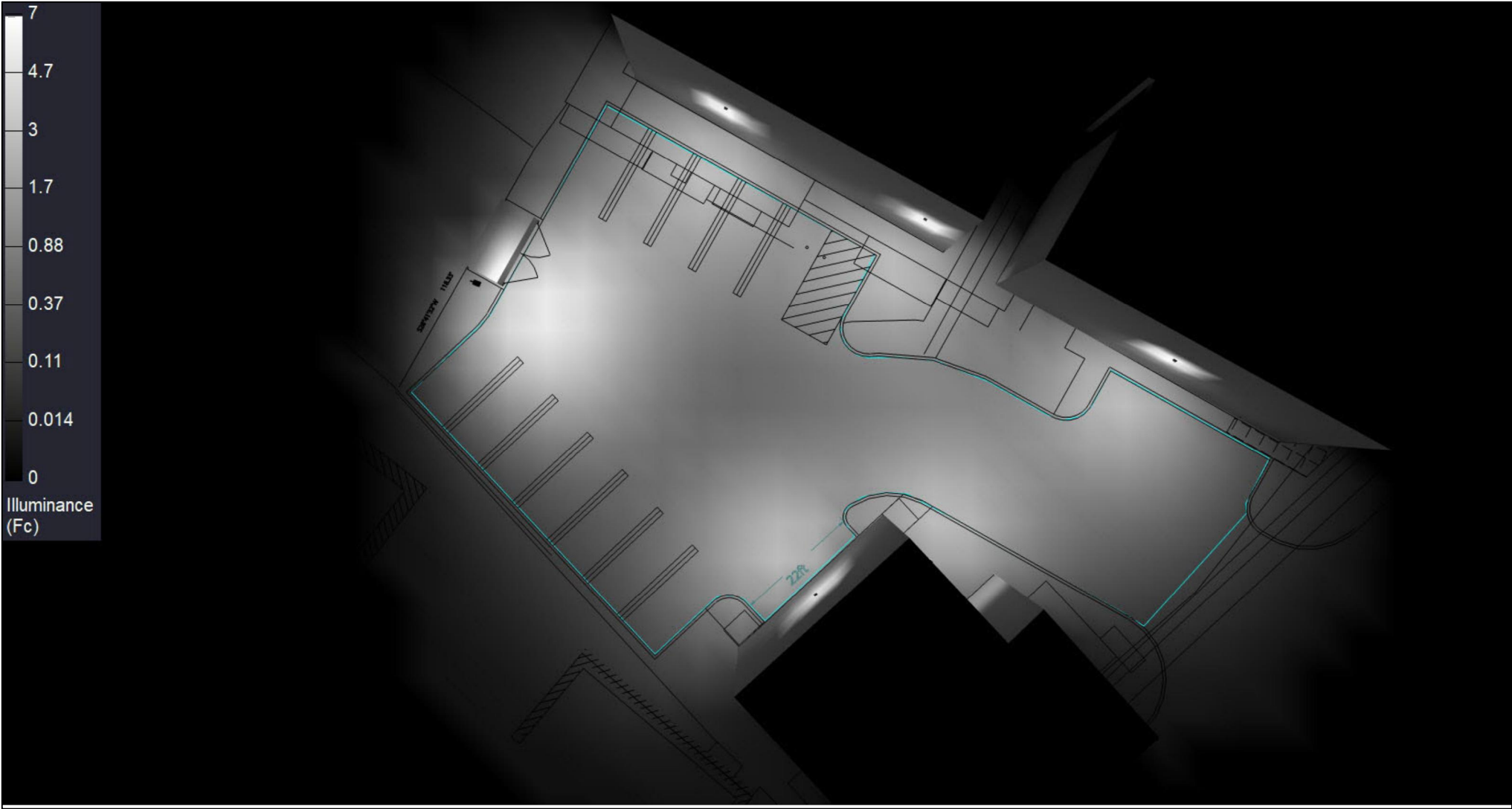
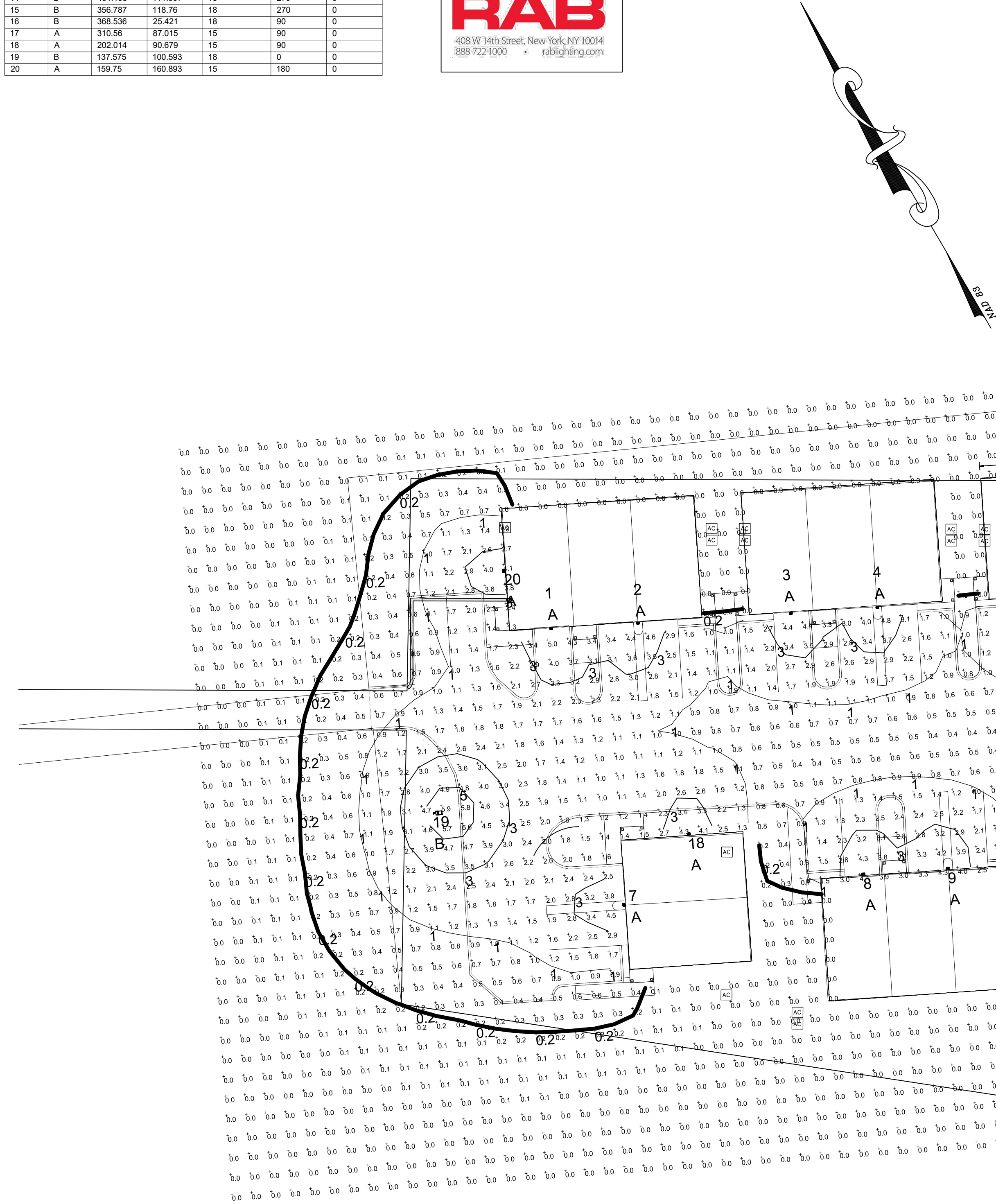
SP4

Calculation Summary									
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Description	PISpctLr
CalcPts	Illuminance	Fc	0.90	6.1	0.0	N.A.	N.A.	Readings taken at 0'-0" AFG	5
StatArea - Parking Lot	Illuminance	Fc	2.01	6.1	0.3	6.70	20.33	Readings taken at 0'-0" AFG	5
Meter Type									
Horizontal									

Luminaire Tag Summary	
Tag	Qty
A	16
B	4

Luminaire Schedule												
Symbol	Qty	Tag	Label	Arrangement	LLF	Luminaire Lumens	Arrangement Luminaire Lumens	Description	Luminaire Watts	Arrangement Watts	Total Watts	Mounting Height
	16	A	SLIM12N	Single	1.000	2039	2039	Wall Mount	14.9	14.9	238.4	15
	4	B	A17-4 T70N	Single	1.000	9903	9903	Type IV Pole Mount, 15ft Pole on 3ft Base; Base by Others	70.37	70.37	281.48	18

Expanded Luminaire Location Summary						
LumNo	Tag	X	Y	MTG HT	Orient	Tilt
1	A	170.714	145.558	15	270	0
2	A	192.872	145.401	15	270	0
3	A	231.801	145.147	15	270	0
4	A	253.908	145.078	15	270	0
5	A	293.331	144.873	15	270	0
6	A	314.821	144.804	15	270	0
7	A	184.407	73.988	15	180	0
8	A	245.578	77.377	15	90	0
9	A	267.138	77.324	15	90	0
10	A	333.844	70.097	15	0	0
11	A	333.844	48.332	15	0	0
12	A	415.115	65.579	15	90	0
13	A	437.154	65.785	15	90	0
14	B	431.198	111.907	18	270	0
15	B	356.767	118.76	18	270	0
16	B	368.536	25.421	18	90	0
17	A	310.56	87.015	15	90	0
18	A	202.014	90.679	15	90	0
19	B	137.575	100.593	18	0	0
20	A	159.75	160.693	15	180	0



- NOTES:
- * The light loss factor (LLF) is a product of many variables. RAB's standard is to use the initial 1.0 LLF in accordance with most municipal lighting ordinance light trespass requirements, unless otherwise noted.
 - * Illumination values shown (in footcandles) are the predicted results for planes of calculation either horizontal, vertical or inclined as designated in the calculation summary. Meter orientation is normal to the plane of calculation.
 - * The calculated results of this lighting simulation represent an anticipated prediction of system performance. Actual measured results may vary from the anticipated performance and are subject to means and methods which are beyond the control of RAB Lighting Inc.
 - * Mounting height determination is job site specific, our lighting simulations assume a mounting height (insertion point of the luminaire symbol) to be taken at the top of the symbol for ceiling mounted luminaires and at the bottom of the symbol for all other luminaire mounting configurations.
 - * RAB disclaims all responsibility for the suitability of existing or proposed poles and bases to support proposed fixtures. This is the owner's, installer's and/or end-user's responsibility based on the weight and effective projected area ("EPA") of the proposed fixtures and the owner's site and soil conditions, wind zone, and many other factors. A professional engineer licensed to practice in the state the site is located should be engaged to assist in this determination.
 - * The landscape material shown hereon is conceptual and is not intended to be an accurate representation of any particular plant, shrub, bush, or tree, as these materials are living objects, and subject to constant change. The conceptual objects shown are for illustrative purposes only. The actual illumination values measured in the field will vary.
 - * Photometric model elements such as buildings, rooms, plants, furnishings or any architectural details which impact the dispersion of light must be detailed by the customer documents for inclusion in the RAB Lighting Design. The owner/contractor/customer/end-user must provide accurate and complete construction drawings that reflect what will be the final construction. RAB is not responsible for any inaccuracies caused by incomplete, inaccurate, or outdated information provided by the owner/contractor/customer/end-user.
 - * RAB Lighting Inc. luminaire and product designs are protected under U.S. and International intellectual property laws. Patents issued or pending may apply. Please see www.rablighting.com/lp.
 - * The Lighting Analysis, E2Layout, Energy Analysis and/or Visual Simulation ("Lighting Design") provided by RAB Lighting Inc. ("RAB") represents an anticipated prediction of lighting system performance based upon design parameters and information supplied by others. These design parameters and information provided by others have not been field verified by RAB and therefore actual measured results may vary from the actual field conditions. RAB recommends that design parameters and other information be field verified to reduce variation.
 - * RAB does not warranty, either implied or stated, actual measured light levels or energy consumption levels as compared to those illustrated by the Lighting Design.
 - * RAB does not warranty, either implied or stated, nor represents the appropriateness, completeness or suitability of the Lighting Design as compliant with any applicable regulatory code requirements with the exception of those expressly stated on drawings created and submitted by RAB. The Lighting Design is issued, in whole or in part, as advisory documents for informational and convenience purposes only, is not intended for construction nor as a part of a project's construction documentation package and should not be relied upon for any purpose.
 - * Immediately prior to any party ordering RAB products used in the Lighting Design, the ordering party must verify that the lumen output of the fixtures being ordered (as shown on RAB's website) match the lumen output shown in the Lighting Design. Occasionally, Lighting Designs previously provided use fixtures that are then updated prior to an order and such updates could change the lumen output of the fixture. This in turn, could impact the installed lighting performance that differs from the Lighting Design.

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360 THOMPSON AVENUE

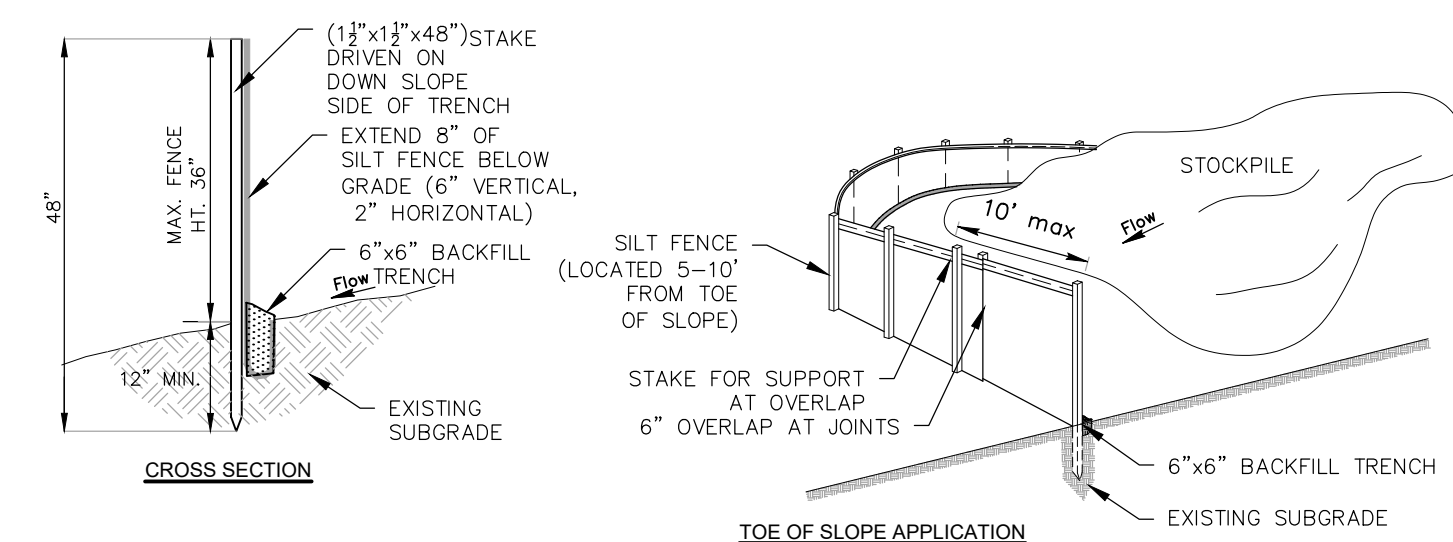
LIGHTING PLAN

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AGENCY SUBMISSION DRAWINGS
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Geotextile Silt Fencing Minimum Requirements		
Physical Property	Test Method	Minimum Requirements
Filtering efficiency	ASTM 5141	75% (min)
Tensile strength (lbs.)	ASTM D4632	100 lbs.
Elongation at failure	ASTM D4632	15%
Mullen burst strength	ASTM D3786	250 psi.
Puncture strength	ASTM 4833	50 lbs.
Apparent opening size	ASTM D4751	no less than 0.90mm & no greater than 0.60mm
Flow rate	ASTM D4491	0.2 gal./ft ² /min.
Permativity	ASTM D4491	0.05 sec.-1 (min)
Ultraviolet radiation stability %	ASTM D4355	70% after 500 hours of exposure (min.)



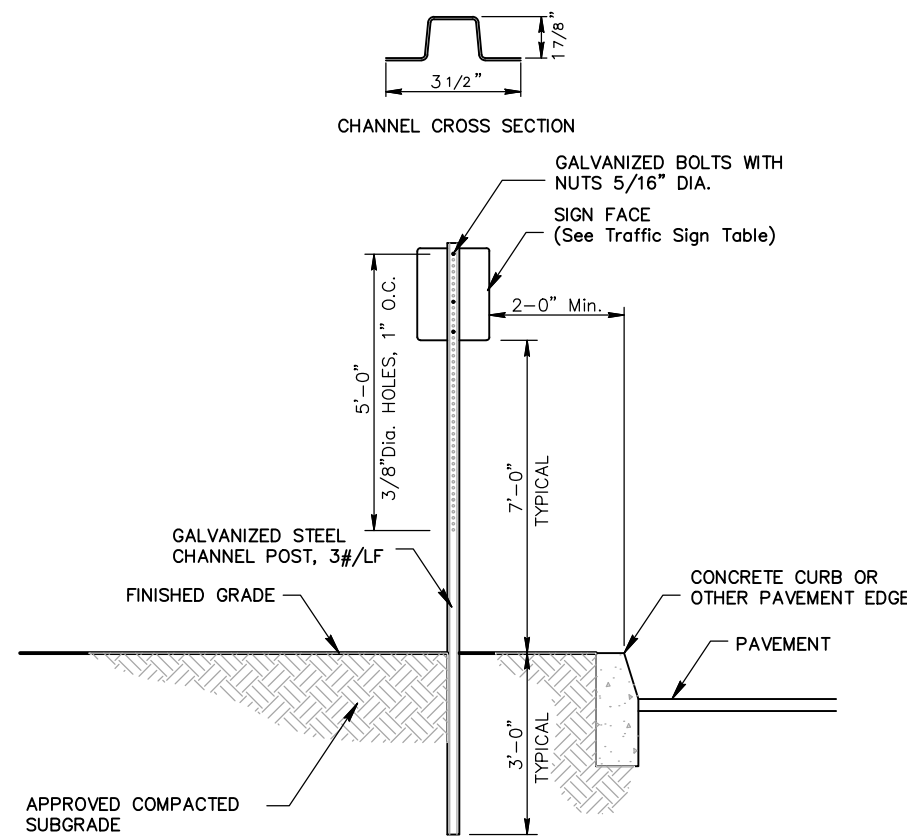
- INSTALLATION:
1. LOCATE AS NECESSARY FOR APPLICATION. (SEE DIAGRAM)
 2. EXCAVATE TRENCH TO A MINIMUM OF 6" DEEP BY 6" WIDE ON UP-SLOPE SIDE OF FENCE. FOR SLOPES EXTEND TRENCH UP-SLOPE AT BOTH ENDS OF THE FENCE TO PREVENT WATER FROM RUNNING AROUND. ENCLOSE CATCH BASINS IN DEPRESSIONS. CUTTING FABRIC ON THE BOTTOM CORNERS 4"± TO ALLOW FABRIC TO LAY FLAT AROUND CORNERS
 3. DRIVE HARDWOOD STAKES (12"x12"x48") ON DOWN-SLOPE SIDE OF FENCE AT A MAXIMUM SPACING OF 10' OR CLOSER WHEN CONCENTRATED FLOWS ARE ANTICIPATED.
 4. STAPLE OR SECURE FENCE TO STAKES PER MANUFACTURER'S INSTRUCTIONS SUCH THAT AT LEAST 8" OF FABRIC LAYS WITHIN TRENCH.
 5. PLACE FABRIC JOINTS AT STAKES WITH A 6" OVERLAP OF FABRIC.
 6. BACKFILL & COMPACT TRENCH

PLACEMENT & CONSTRUCTION SILT FENCE (FILTER FENCE)

N.T.S.

CADFILE: 02722-11.DWG

#	SIGN	SIZE	DESC.	MOUNTING TYPE	MOUNT HGT.	REGULATORY	Reflect- orized
1		30"x30"	SILVER ON RED	STEEL CHANNEL	7'-0"	31-0002	X



TRAFFIC SIGN POST

N.T.S.

CADFILE: 02853-06.DWG

NARRATIVE:

THE PROPOSED PROJECT INVOLVES THE CONSTRUCTION OF 7 NEW RESIDENTIAL BUILDINGS, WITH TWO DRIVEWAYS. THE PRIMARY ACCESS WILL BE ON THOMPSON AVENUE, THE EMERGENCY ACCESS ON CARLSON PLACE. THE PROPERTY WILL BE RECONFIGURED WITH THE MERGER OF TWO LOTS. IT WILL UTILIZE GARAGE, DRIVEWAY, LIMITED SURFACE PARKING & A STORMWATER MANAGEMENT SYSTEM. THE PROPOSED CONSTRUCTION WILL DISTURB APPROXIMATELY 90% OF THE SITE DURING CONSTRUCTION WHICH WILL INCLUDE EXCAVATION AND GRADING FOR THIS STRUCTURES. THERE WILL BE A POTENTIAL FOR EROSION FROM THE SITE. TO MITIGATE THIS POTENTIAL, A COMPREHENSIVE "SOIL EROSION AND SEDIMENT CONTROL PLAN" HAS BEEN DEVELOPED IN CONJUNCTION WITH THIS PROJECT. DURING MOST PHASES OF THE PROJECT HEAVY CONSTRUCTION EQUIPMENT MAY BE UTILIZED. THE PRIMARY TYPE OF EROSION WHICH MAY RESULT FROM THE PROPOSED CONSTRUCTION WILL BE RILL AND GULLY WHICH IS INDICATIVE OF SITE GRADING. CONSTRUCTION/SILT FENCING AND HAY BALE BARRIERS SHOULD PROVIDE THE MOST EFFECTIVE MEANS OF CONTROLLING THE EROSION POTENTIAL IN THE DISTURBED AREA. PRIOR TO ANY WORK COMMENCING ON THE SITE, THE SENSITIVE AREAS WILL BE APPROPRIATELY NOTED TO THE CONTRACTOR AS AREAS OF NO DISTURBANCE AND OFF LIMITS TO CONSTRUCTION EQUIPMENT, UNLESS OTHERWISE SHOWN ON THE APPROVED SITE PLAN. ALL SILT FENCING SHOULD BE INSTALLED IN ACCORDANCE WITH THE DETAIL PLAN AND IN GENERAL BE PLACED PERPENDICULAR TO THE FLOW. EROSION CONTROLS SHALL BE INSPECTED BY THE DEVELOPER PERIODICALLY AND AFTER STORMS TO INSURE THAT THEY ARE FUNCTIONING PROPERLY AND ALSO REMOVE ANY EXCESS SEDIMENT WHICH WOULD HAMPER THE USEFULNESS OF THE CONTROL MEASURE. THE SILTS REMOVED, ARE TO BE BURIED ON SITE OR DISPOSED OF IN A MANNER APPROVED BY THE DIRECTOR OF PUBLIC WORKS. RESPONSIBILITY FOR AN OPERATING AND MAINTENANCE PROGRAM SHALL LIE WITH THE DEVELOPER DURING CONSTRUCTION. WHERE APPLICABLE, ALL CONTROL MEASURES ARE DESIGNED IN ACCORDANCE WITH THE "GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL FOR THE STATE OF CONNECTICUT." DETAILS FOR SAID MEASURES CAN BE FOUND ON THIS SHEET.

SEQUENCE OF CONSTRUCTION:

- 1) Locate Construction Entrances and install silt fencing as shown on plan.
- 2) Stockpile areas to be determined and appropriately stabilized.
- 3) Demolish and dispose of materials from existing structures
- 4) Initiate rough grading for foundation installation.
- 5) Site drainage and utility installation.
- 6) Stabilize all areas as grading progresses.
- 7) Install protection for internal drainage structures prior to becoming operable.
- 8) Finish grading and pavement placing.
- 9) Establish permanent vegetative cover.
- 10) Remove control measures and dispose of siltation as directed.

NARRATIVE-SEQUENCE OF CONSTRUCTION

CADFILE: 02722-20.DWG

SOIL EROSION CONTROL NOTES

1. LAND DISTURBANCES WILL BE KEPT TO A MINIMUM; RE-STABILIZATION WILL BE SCHEDULED AS SOON AS POSSIBLE. TEMPORARY SEEDING OR PERMANENT HYDRO-SEEDING SHOULD TAKE PLACE IMMEDIATELY UPON COMPLETION OF GRADING. PERMANENT SEEDING WILL BE SCHEDULED DURING THE PERIOD APRIL 1 - JUNE 15; AUGUST 15 - SEPTEMBER 15.
2. EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED PRIOR TO CONSTRUCTION WHENEVER POSSIBLE AND WILL BE MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD.
3. HAY BALE FILTERS WILL BE INSTALLED AS SHOWN ON THIS PLAN AS WELL AS AT ALL CULVERT OUTLETS AND ALONG THE TOE OF ALL CRITICAL CUT AND FILL SLOPES.
4. ALL DRAINAGE STRUCTURES ARE TO BE CONSTRUCTED AND THE EMBANKMENTS STABILIZED AS SOON AS POSSIBLE AFTER THE CONSTRUCTION COMMENCES.
5. CULVERT DISCHARGE AREAS WILL BE PROTECTED WITH RIP-RAP CHANNELS; ENERGY DISSIPATORS WILL BE PROVIDED AS NECESSARY.
6. ADDITIONAL CONTROL MEASURES WILL BE INSTALLED DURING THE CONSTRUCTION PERIOD IF NECESSARY AS REQUIRED.
7. ALL EROSION AND SEDIMENTATION CONTROL MEASURES WILL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE "2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" CONNECTICUT COUNCIL ON SOIL AND WATER CONSERVATION.
8. CROWNVECH / PERENNIAL RYE GRASS (40% - 60% MIXTURE) IS RECOMMENDED TO BE APPLIED AT A RATE OF 2.5 LBS. PER 1000 SQUARE FEET TO STABILIZE ALL FILL AND CUT EMBANKMENTS.
9. SEDIMENT REMOVED FROM CONTROL STRUCTURES WILL BE BURIED OR DISPOSED OF AS DETERMINED BY THE TOWN ENGINEER.
10. **JOHN HALL (203)410-4991**
NAME PHONE

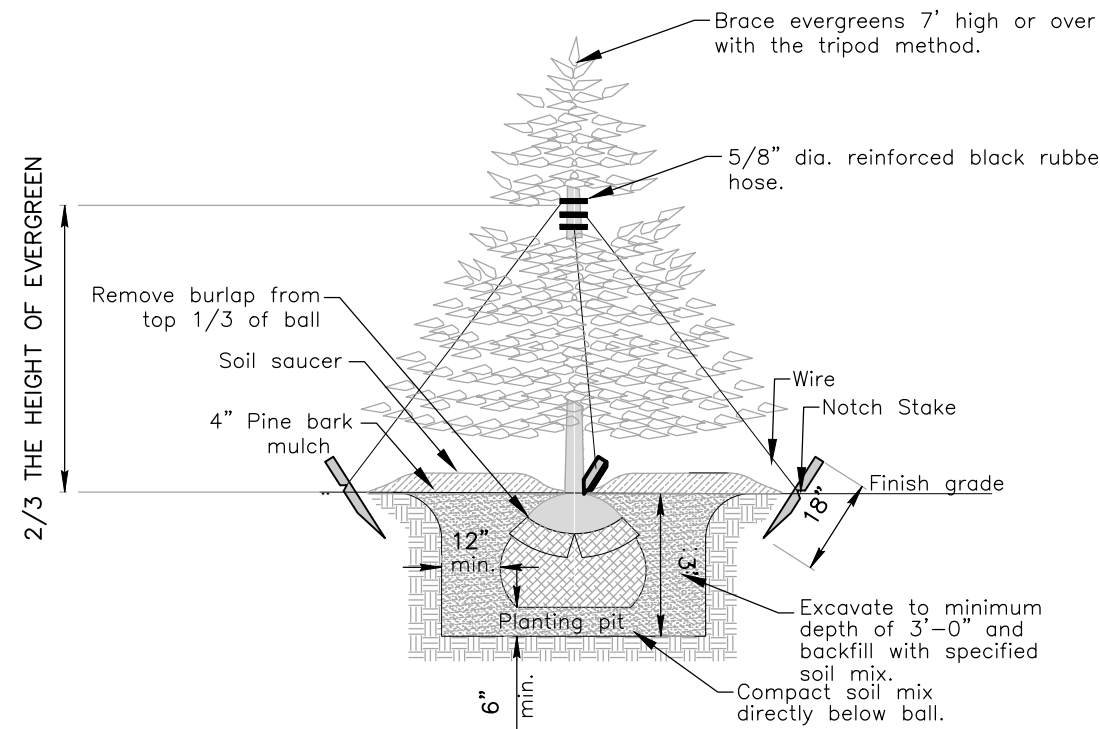
IS ASSIGNED THE RESPONSIBILITY FOR IMPLEMENTING THIS EROSION AND SEDIMENT CONTROL PLAN. THIS RESPONSIBILITY INCLUDES THE INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THIS PLAN, NOTIFYING THE INLAND WETLAND OFFICE OF ANY TRANSFER OF THIS RESPONSIBILITY, AND FOR CONVEYING A COPY OF THE EROSION AND SEDIMENT CONTROL PLAN IF THE TITLE OF THE LAND IS TRANSFERRED.

11. A PRE CONSTRUCTION CONFERENCE WITH THE WETLANDS ENFORCEMENT OFFICER AND THE PARTY RESPONSIBLE FOR EROSION AND SEDIMENT CONTROL MUST BE HELD.
12. ANY CHANGES TO THE SUBMITTED PLANS MUST BE RESUBMITTED TO THE PLANNING & ZONING COMMISSION FOR APPROVAL.
13. PRIOR TO THE START OF CONSTRUCTION THE WETLANDS ENFORCEMENT OFFICER SHALL BE NOTIFIED FOR THE INSPECTION OF SEDIMENT & EROSION CONTROLS. SEDIMENT & EROSION CONTROLS INCLUDING CONSTRUCTION ENTRANCE(S) SHALL BE MONITORED THROUGHOUT CONSTRUCTION.

CADFILE: 02722-09.DWG

NOTES:

Trees shall be planted so that the roots or tree ball are at the same elevation at which they/it grew in the nursery.



TRIPOD METHOD - 3 STAKES

TYPICAL EVERGREEN PLANTING & STAKING DETAIL

CADFILE: 02950-07.DWG

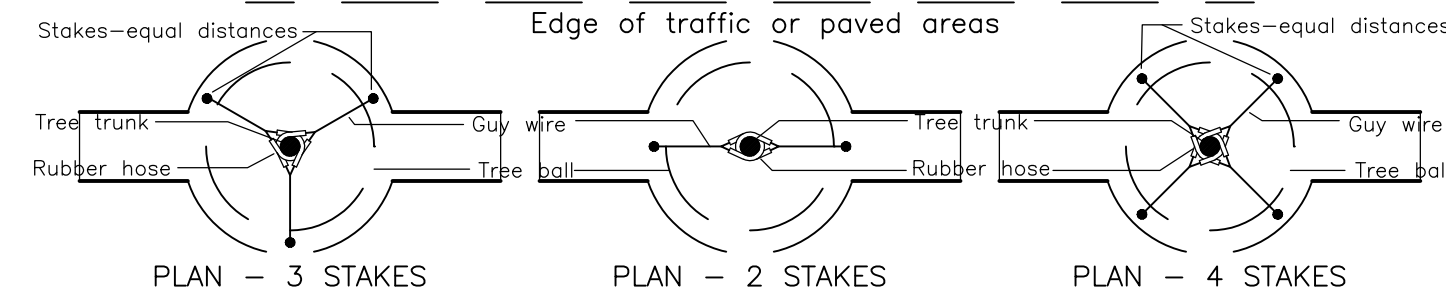
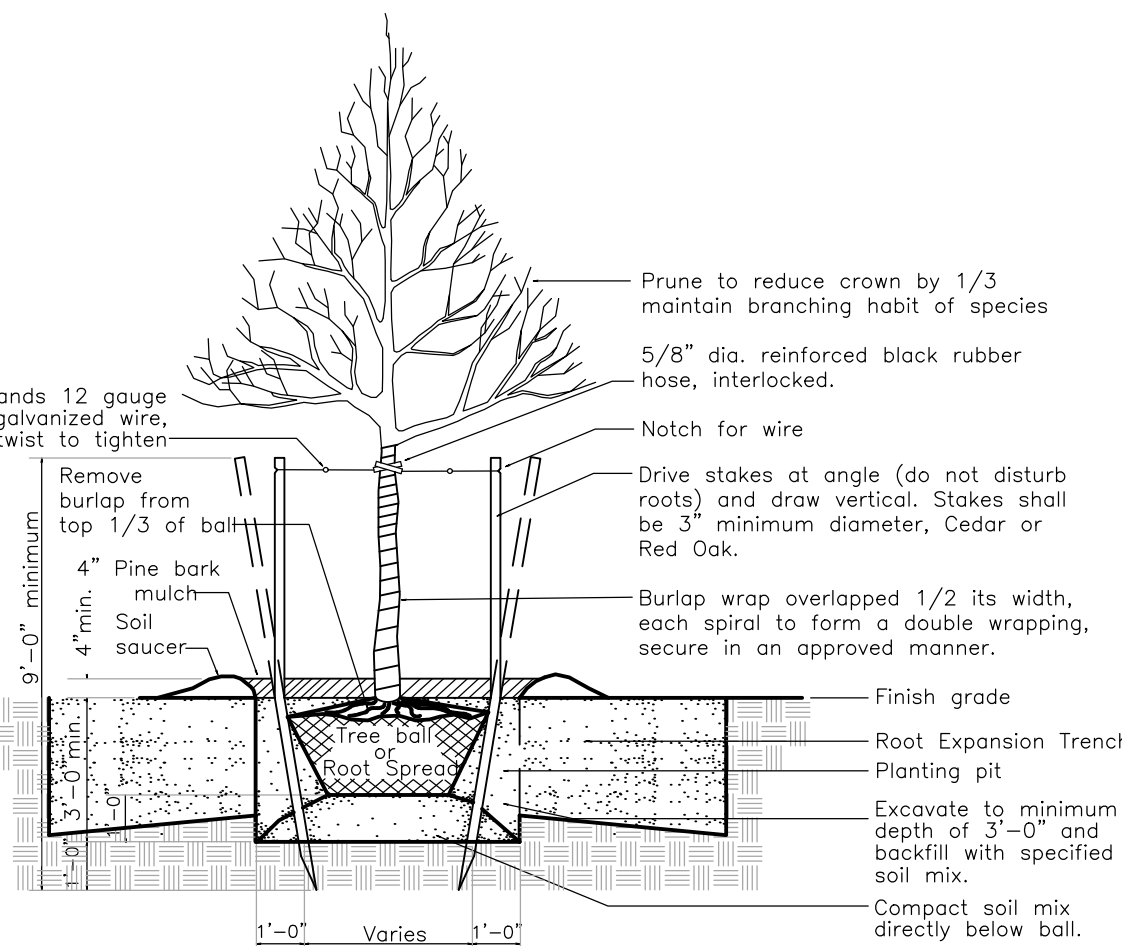
NOTES:

Trees up to and including 3" caliper require 2 stakes on opposite sides of tree parallel to street, curb, pavement edges, and/or grades.

Trees 3 to 3 1/2" caliper require 3 stakes as shown below.

Trees over 3 1/2" caliper require 4 stakes as shown below.

Trees shall be planted so that the roots or tree ball are at the same elevation at which they/it grew in the nursery.



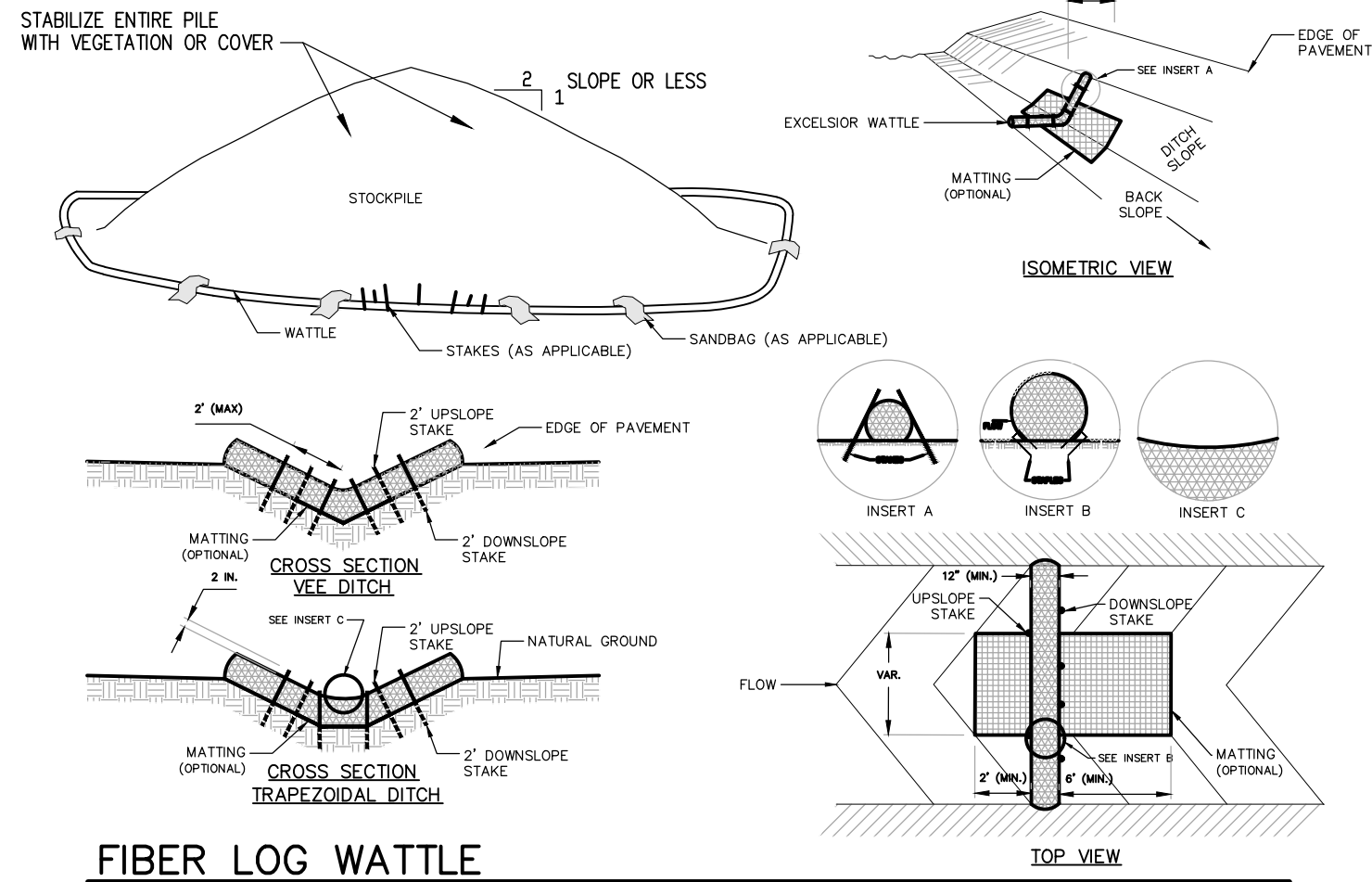
TYPICAL TREE PLANTING & STAKING DETAIL

N.T.S.

CADFILE: 02950-01.DWG

NOTES:

1. USE MINIMUM 8-12 IN. DIAMETER EXCELSIOR WATTLE.
2. USE 2 FT. WOODEN STAKES WITH A 2 IN. BY 2 IN. NOMINAL CROSS SECTION.
3. ONLY INSTALL WATTLE(S) TO A HEIGHT IN DITCH SO FLOW WILL NOT WASH AROUND WATTLE AND SCOUR DITCH SLOPES AND AS DIRECTED.
4. INSTALL A MINIMUM OF 2 DOWN-SLOPE STAKES AND 4 DOWN-SLOPE STAKES AT AN ANGLE TO WEDGE WATTLE TO BOTTOM OF DITCH.
5. PROVIDE STAPLES MADE OF 0.125 IN. DIAMETER STEEL WIRE FORMED INTO A U SHAPE NOT LESS THAN 12" IN LENGTH.
6. INSTALL STAPLES APPROXIMATELY EVERY 1 LINEAR FOOT ON BOTH SIDES OF WATTLE AND AT EACH END TO SECURE IT TO THE SOIL.
7. ON FLAT SURFACES, (STABILIZING FILL PILES), OR PAVED SURFACES, SECURE BY STAKE OR SANDBAG.



FIBER LOG WATTLE

N.T.S.

CADFILE: 02722-143.DWG

CONSTRUCTION ENTRANCE
DEFINITION: AN ENTRANCE TO THE SITE SPECIFICALLY DESIGNED TO REDUCE THE AMOUNT OF SEDIMENT TRACKED SITE BY VEHICLES.

APPLICATION:

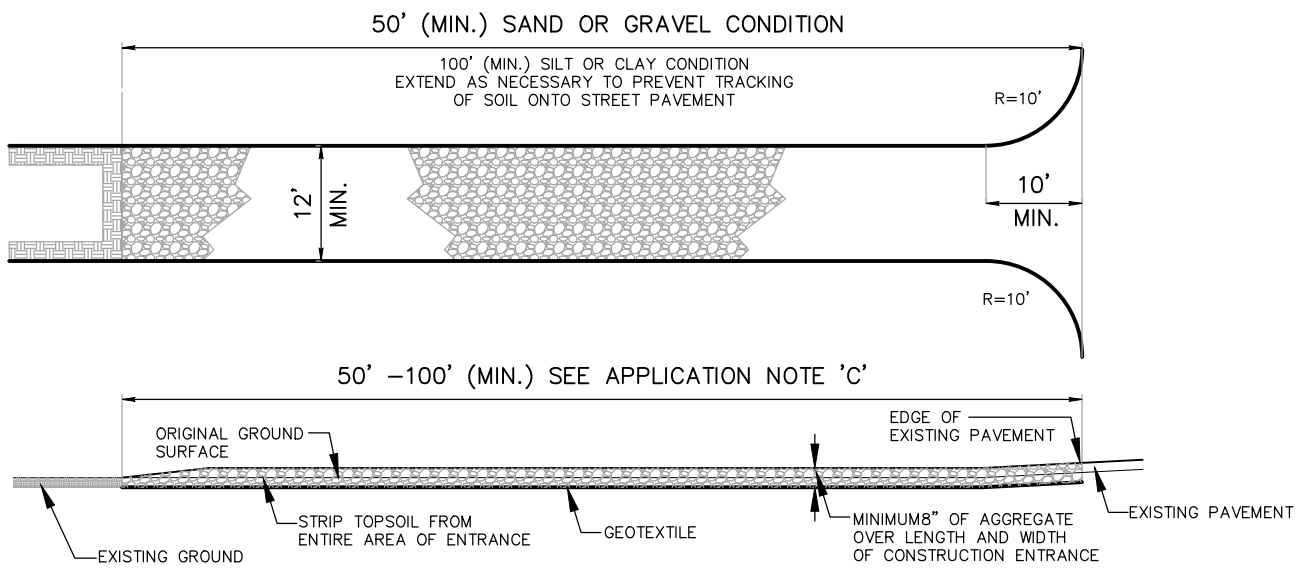
- A - LOCATED WHERE CONSTRUCTION VEHICLES ENTER AND LEAVE WORK SITE ONTO PUBLIC R.O.W.
- B - REDUCES BUT MAY NOT ELIMINATE NEED FOR STREET SWEEPING
- C - FOR SANDY OR GRAVELLY SOIL ON SITE, MINIMUM LENGTH IS 50'. FOR SILTY OR CLAY SOILS ON SITE MINIMUM IS LENGTH IS 100'
- D - PLAN TO MAKE STONE AVAILABLE FOR MAINTENANCE OF ENTRANCE

INSTALLATION:

1. CLEAR ENTRANCE OF VEGETATION AND EXTRANEIOUS MATERIALS AND STRIP EXISTING TOPSOIL.
2. AT POORLY DRAINED LOCATIONS INSTALL SUBSURFACE DRAINAGE, PROVIDE FOR SURFACE WATER CONVEYANCE UNDER ENTRANCE WITH CULVERTS AS NEEDED.
3. PLACE FILTER FABRIC UNDERLINER OVER THE FULL WIDTH AND LENGTH OF ENTRANCE AND COVER WITH OT, D.O.T. #3 2" STONE TO A DEPTH OF NO LESS THAN 8".
4. AS NEEDED INSTALL WASH RACKS AND SEDIMENTATION FACILITIES FOR WASHING WHEN MAJORITY OF MUD IS NOT REMOVED FROM VEHICLES TRAVELING OVER THE STONE. SEDIMENT SHOULD BE INTERCEPTED AND TRAPPED SO IT CAN BE REMOVED AND STABILIZED.

MAINTENANCE:

- AS REQUESTED, APPLY ADDITIONAL STONE OR WASH AND REWORK EXISTING STONE
- REMOVE ANY SEDIMENT APPEARING ON OR IN ROADWAYS OR STORM DRAINS IMMEDIATELY.



PLACEMENT AND CONSTRUCTION OF A STABILIZED CONSTRUCTION ENTRANCE

N.T.S.

CADFILE: 02722-16A.DWG

PLANTING NOTES

N.T.S.

AGENCY SUBMISSION DRAWINGS NOT FOR CONSTRUCTION

REVISIONS

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PROPOSED SITE DEVELOPMENT PLANS
THOMPSON COMMONS
PREPARED FOR
13 CARLSON PLACE LLC
360 THOMPSON AVENUE
EAST HAVEN, CONNECTICUT 06424

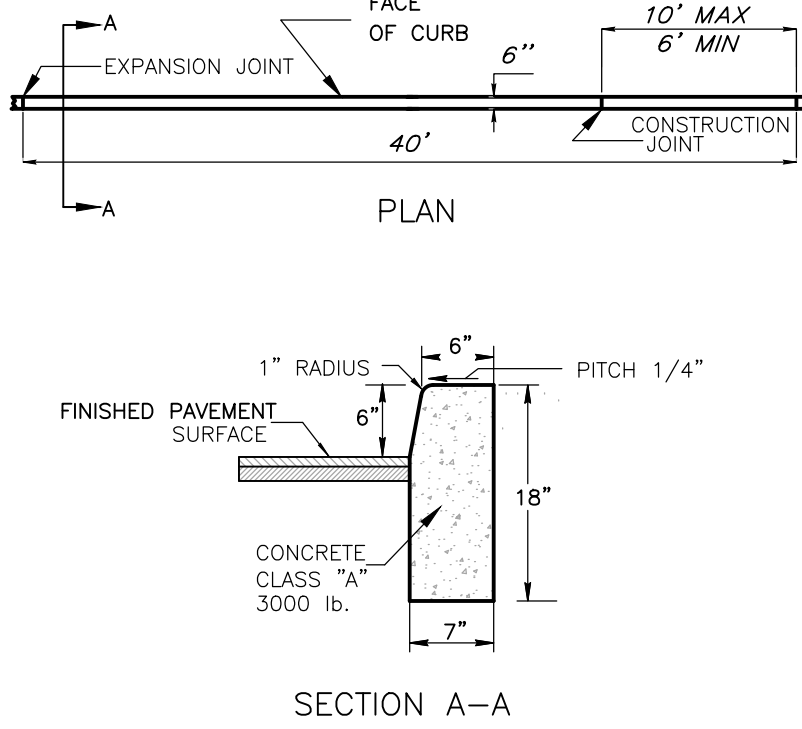
CODESPOTI & ASSOCIATES P.C.
SITE PLANNING
LANDSCAPE ARCHITECTURE
SURVEYING

203-799-1400
203-799-1400
203-799-1400
203-799-1400

SITE EROSION AND PLANTING DETAILS

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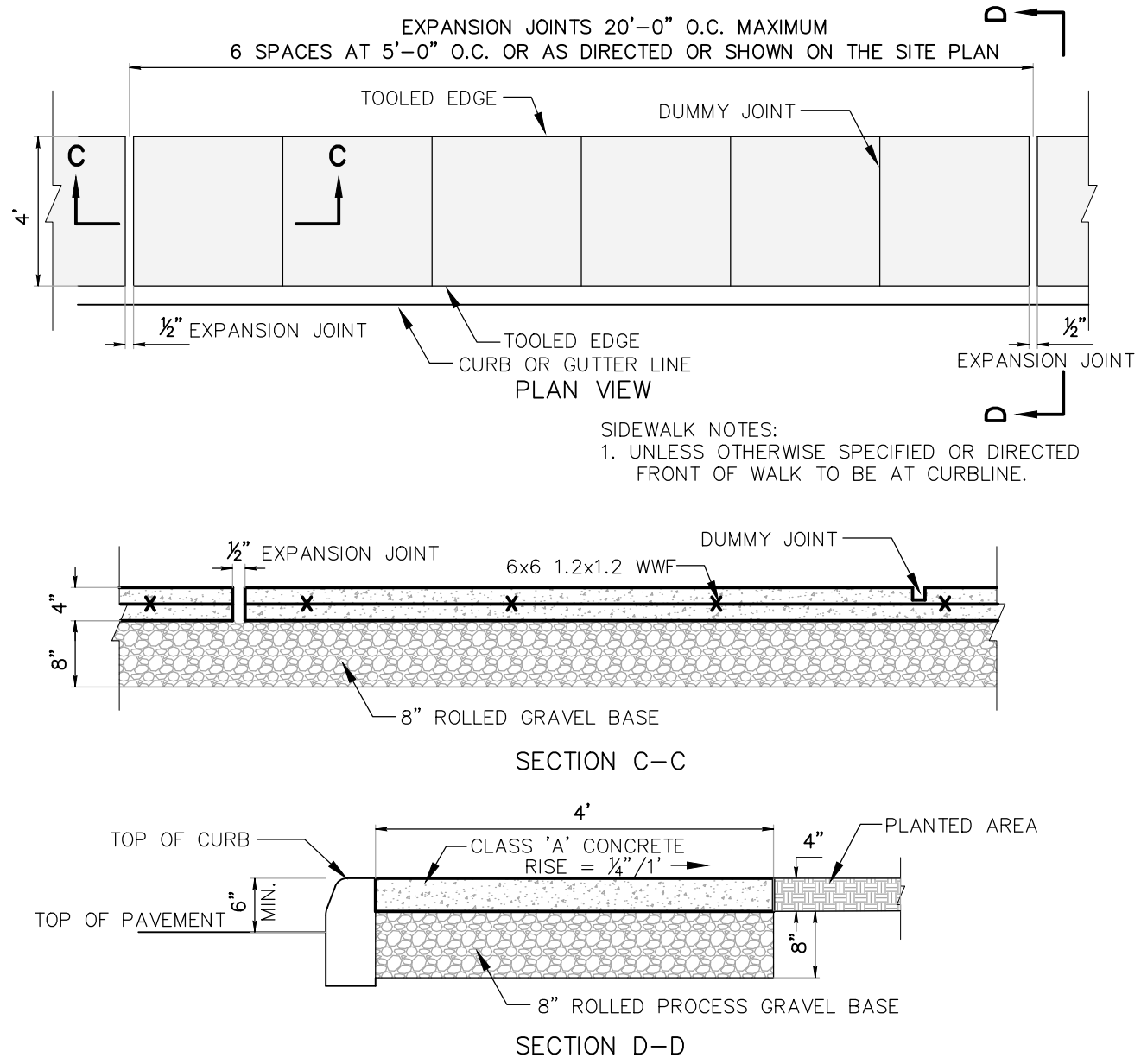
SP6



- GENERAL NOTES
1. Concrete shall be "Class C" and shall contain 5 to 7 percent entrained air
 2. Expansion joints shall be made of pre-formed bituminous joint filler 1/2 inch thick and shall be installed every 40 feet.
 3. All exposed surfaces shall be float finished.
 4. Minimum length of curb section shall be 6 feet.

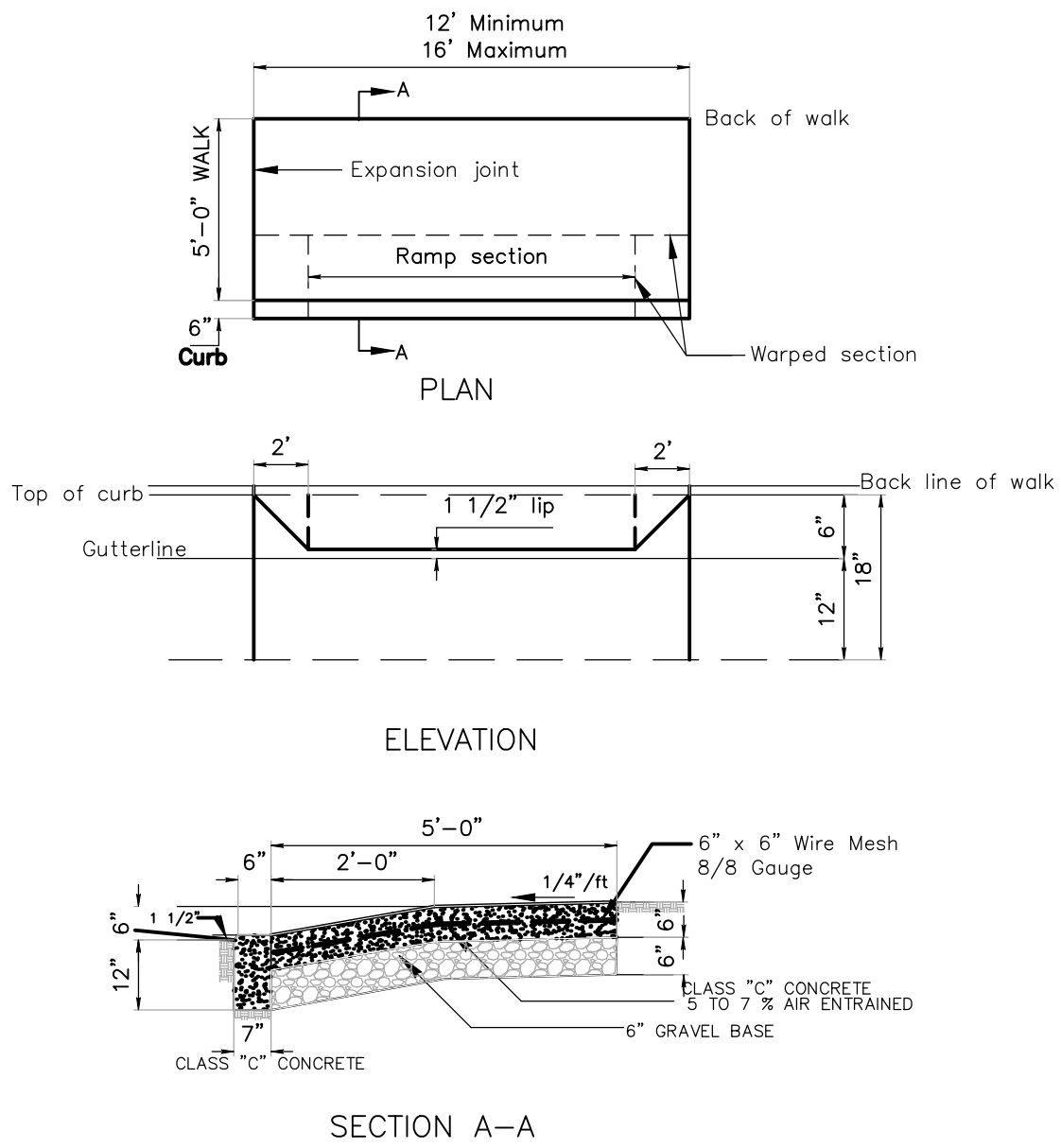
CEMENT CONCRETE CURB DETAIL

N.T.S. CADFILE: 02513-11.DWG



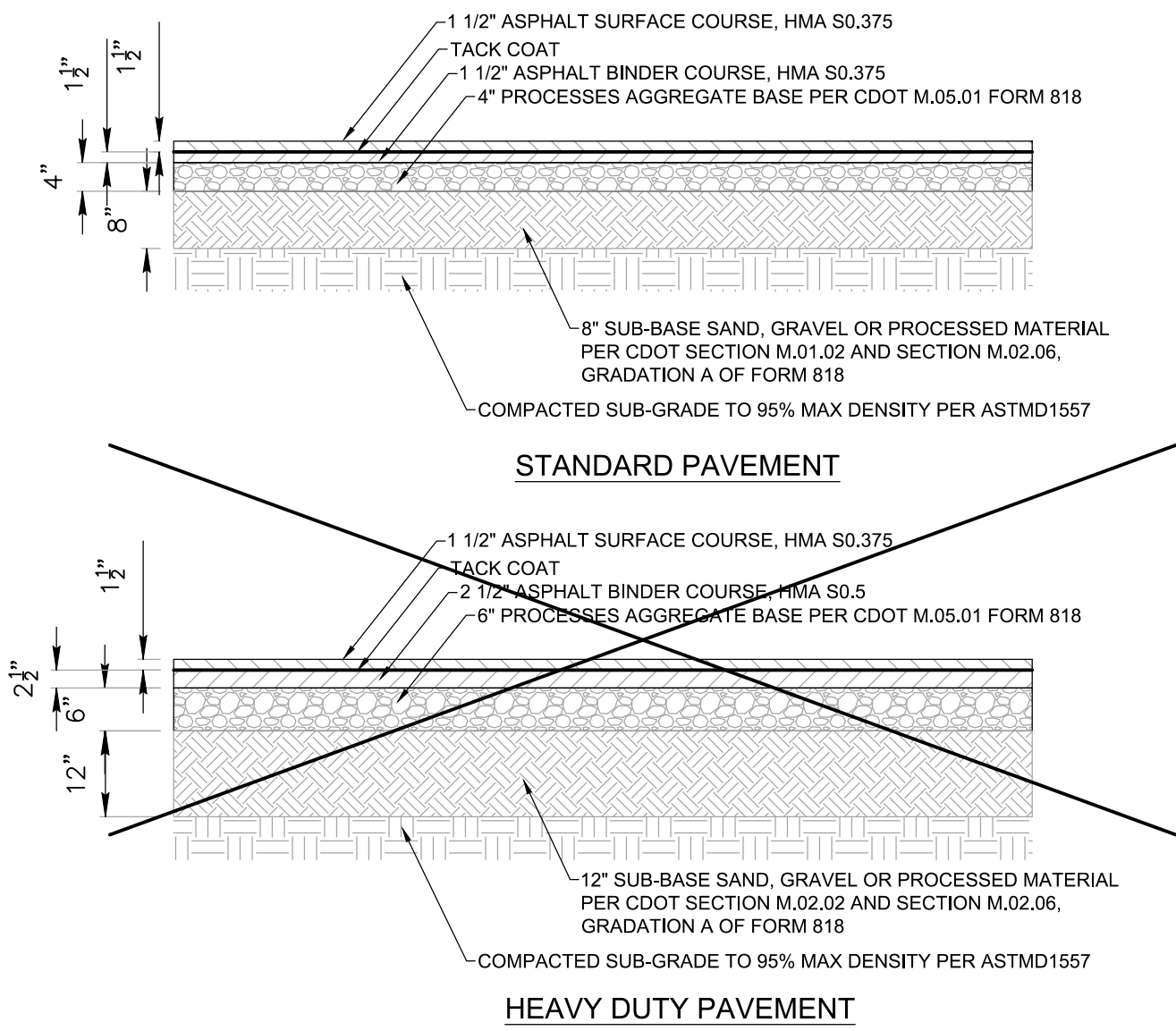
TYPICAL CONCRETE SIDEWALK DETAILS (WITHOUT GRASS STRIP)

N.T.S. CADFILE: 02513-14.DWG



STANDARD DRIVEWAY CONCRETE RAMP

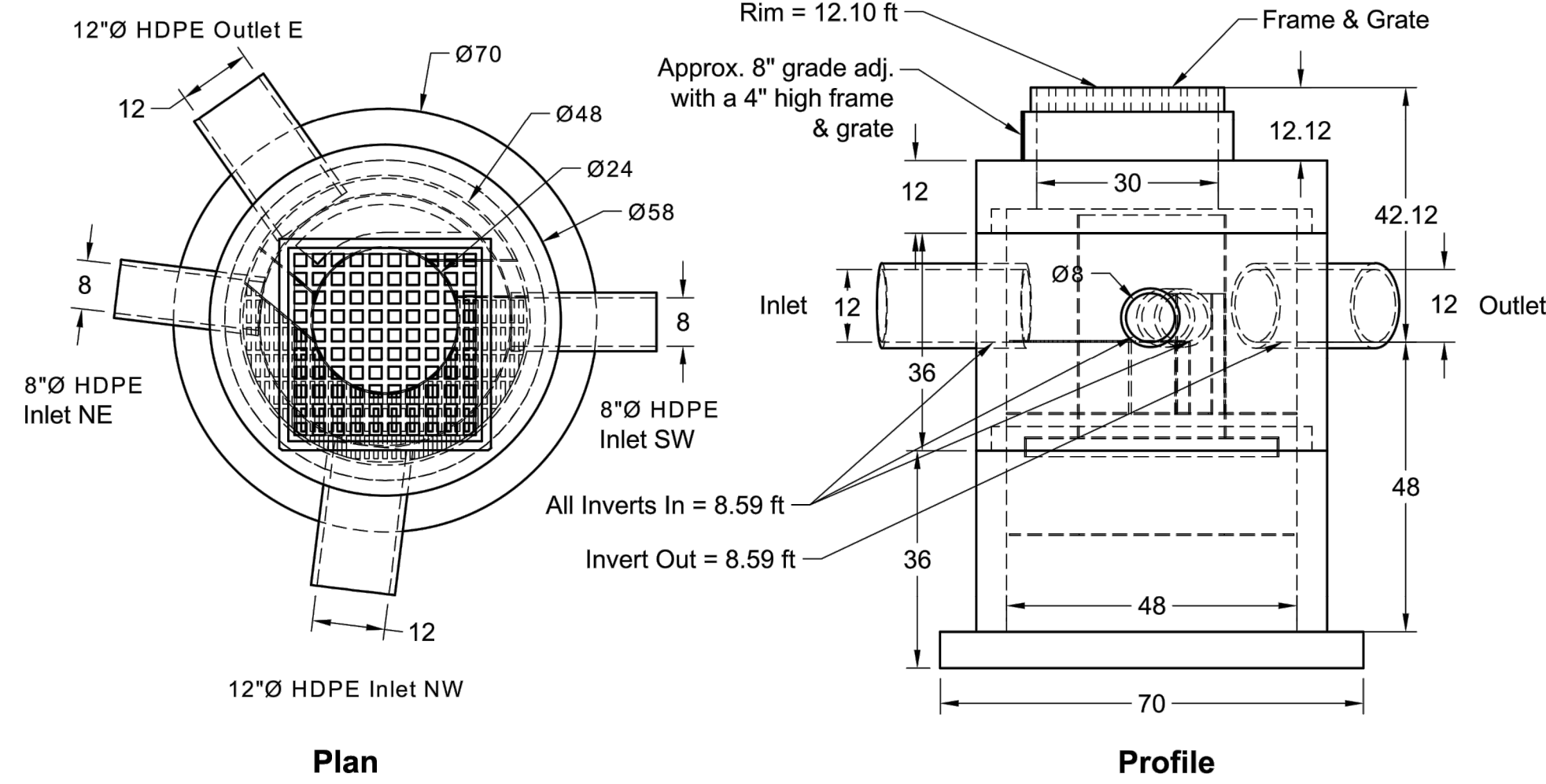
N.T.S. CADFILE: 02513-13.DWG



NOTE: PROPOSED THICKNESSES SUBJECT TO FINAL GEOTECH RECOMMENDATIONS

PAVING DETAILS

N.T.S. CADFILE: 02510-36.DWG



HYDROSTORM HS4i WATER QUALITY DETAIL

REVISIONS

#####

CODESPOTI & ASSOCIATES P.C.

SITE PLANNING
LANDSCAPE ARCHITECTURE
SURVEYING

200 WEST MAIN STREET, SUITE 5
ORANGE, CONNECTICUT 06477
TEL: 203-799-1400
FAX: 203-799-3011

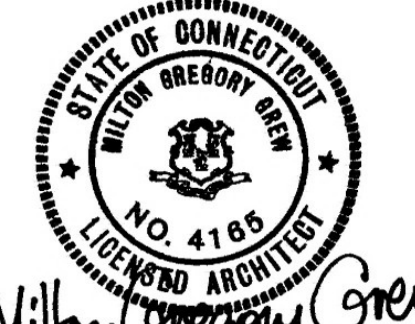
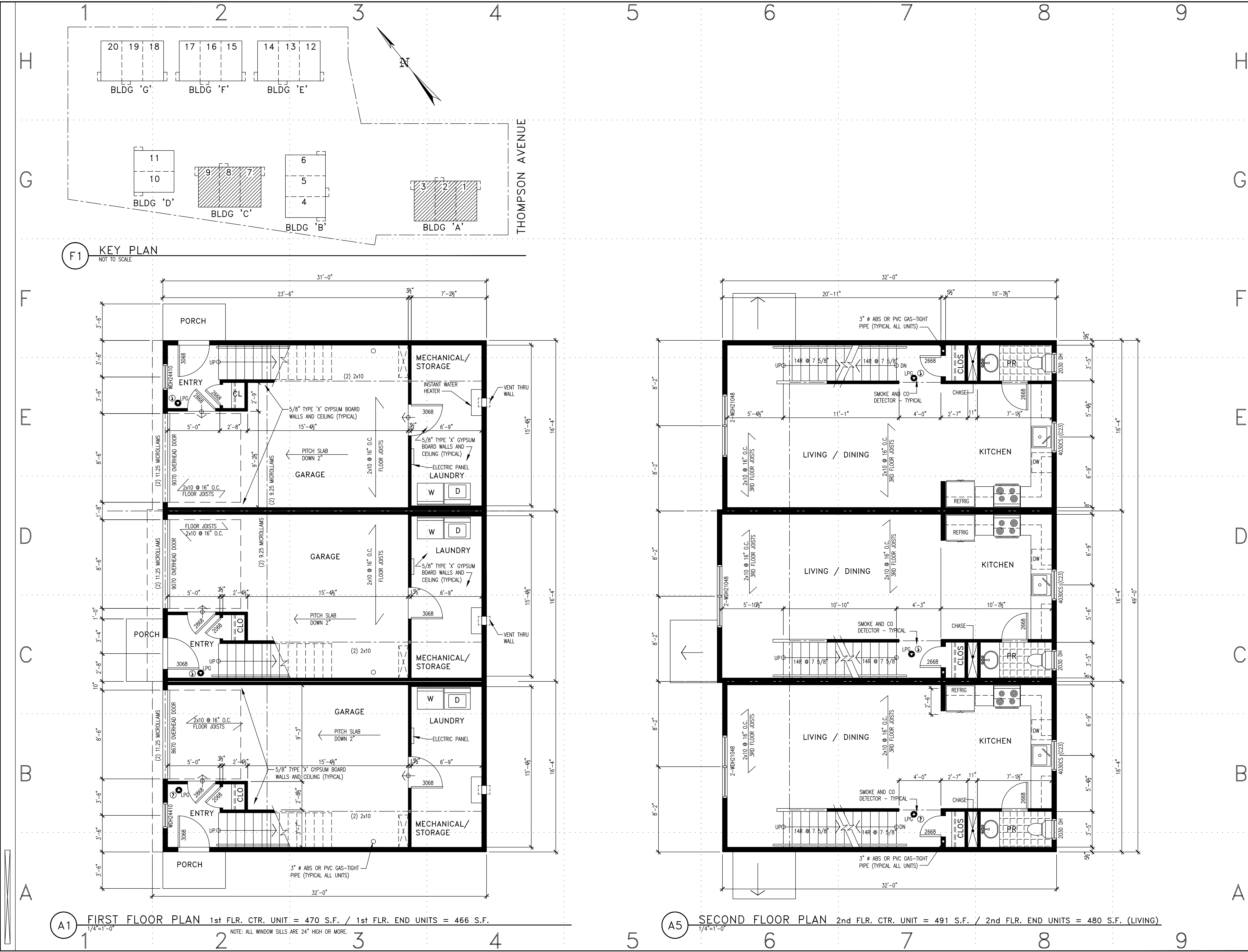
PROPOSED SITE DEVELOPMENT PLANS
THOMPSON COMMONS
PREPARED FOR
13 CARLSON PLACE LLC
EAST HAVEN, CONNECTICUT
360 THOMPSON AVENUE

ROADWAY & WQC STRUCTURE DETAILS

CAD FILE	4632
DATE	01/05/24
SCALE	
AS NOTED	
JOB NO.	4632
SHEET	

SP8

AGENCY SUBMISSION DRAWINGS
NOT FOR CONSTRUCTION



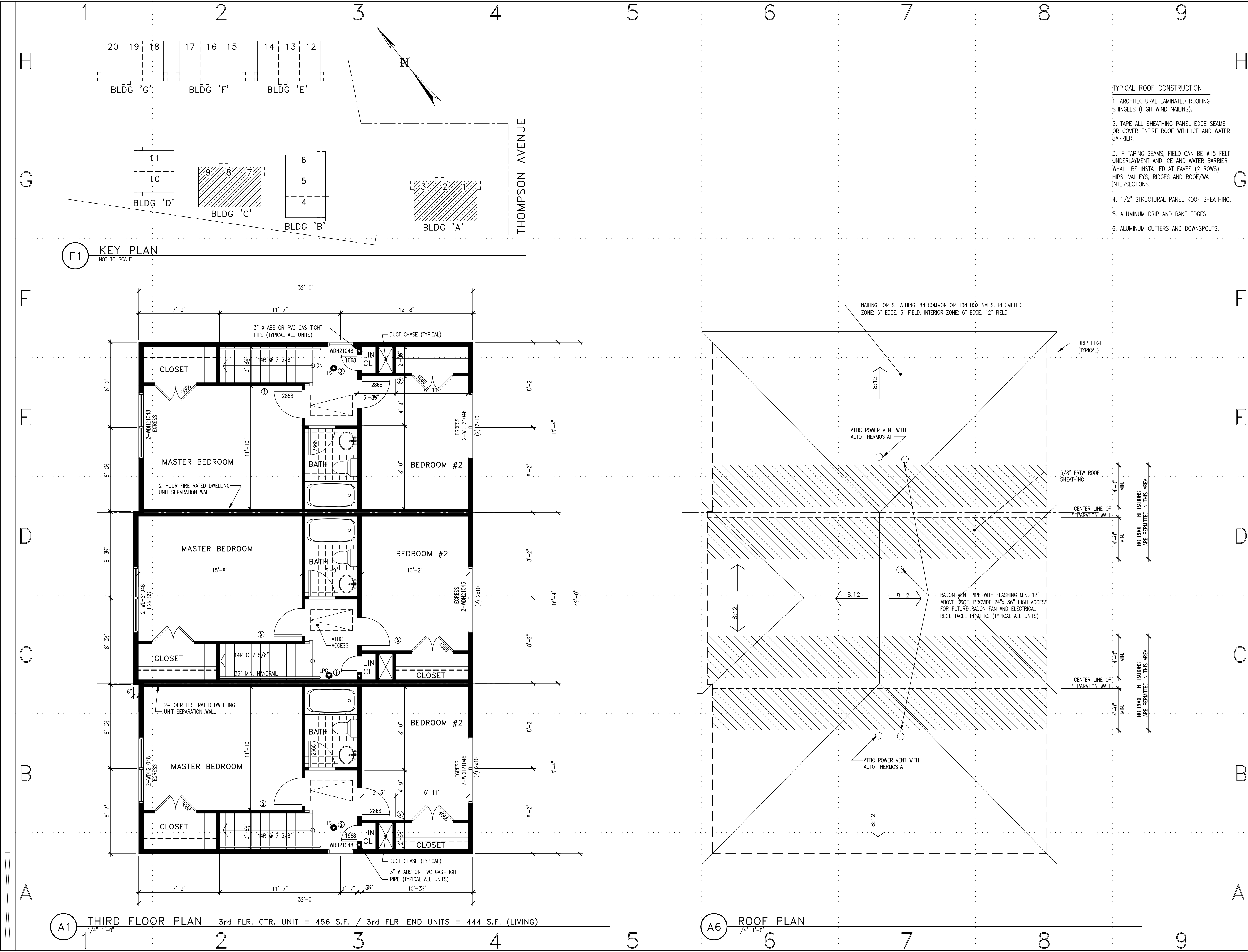
PROJECT:
PROPOSED TOWNHOUSES
360 THOMPSON AVENUE
EAST HAVEN, CT

OWNER:
PATRICK PALMIERI
13 Carlson Place
360 Thompson Avenue
East Haven, CT
Applicant: John Hall

P&Z	09-03-2023	SUBMIT TO PLANNING & ZONING
MARK	DATE	DESCRIPTION
PROJECT #:		23.048
CAD DWG FILE:		C:\23048-A-REV1.DWG
DRAWN BY:		GDI
CHK'D BY:		MGG
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BUILDINGS - A&C
FIRST AND SECOND
FLOOR PLANS

A-101



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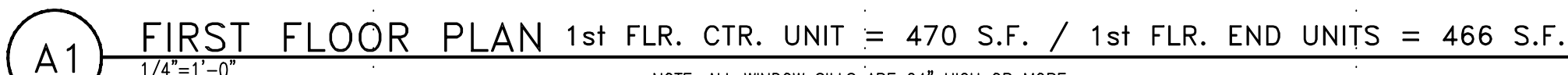
241 Main Street South
Woodbury, Connecticut 06798
Tel: (203) 217-1074 E-mail: MGrew@GrewDesign.com

Milton Gregory Grew

PROJECT:
PROPOSED TOWNHOUSES
360 THOMPSON AVENUE
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BUILDINGS - A&C FIRST AND SECOND FLOOR PLANS		
A-102		
SHEET 8 OF 8		



NOTE: ALL WINDOW SILLS ARE 24" HIGH OR MORE.

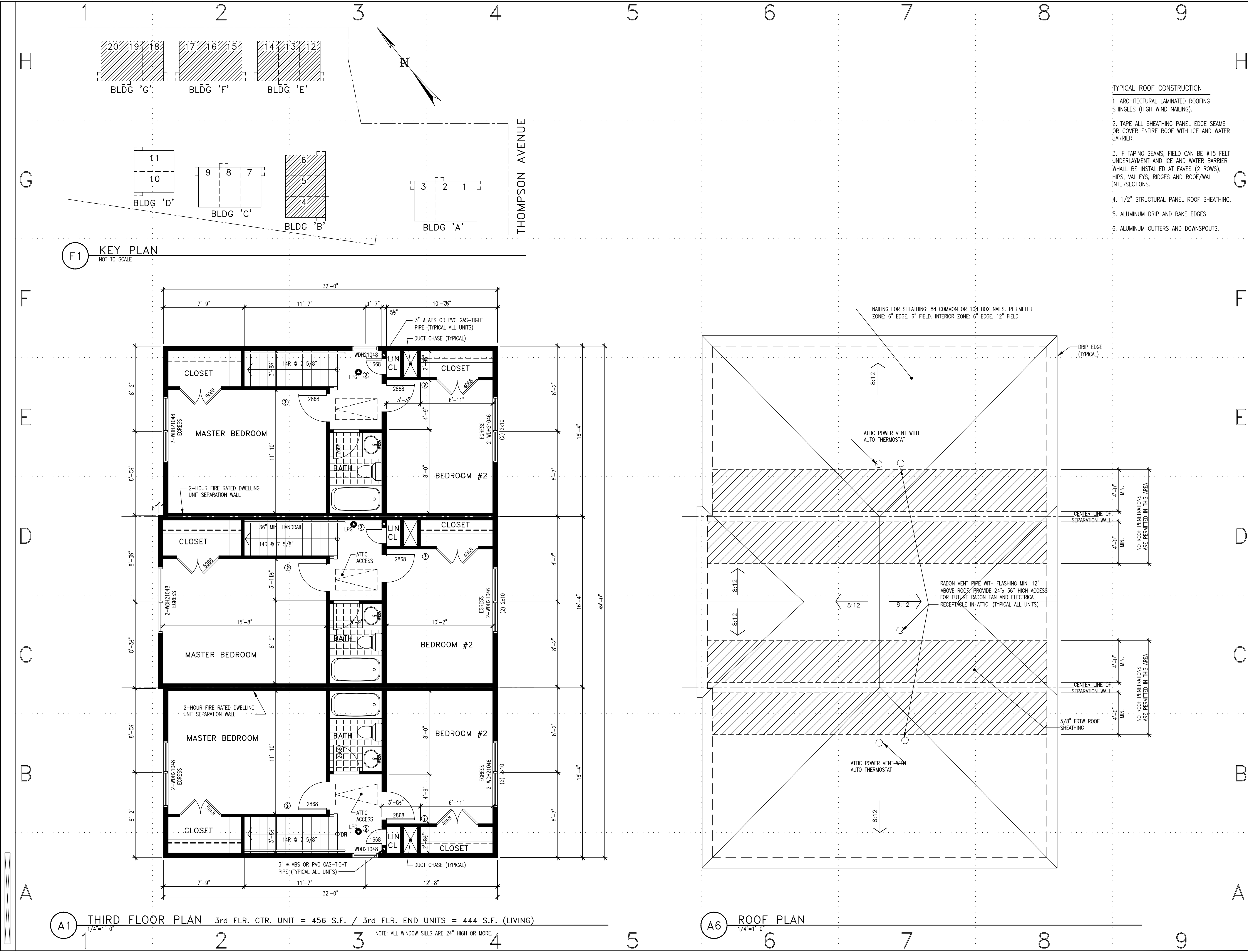


SECOND FLOOR PLAN 2nd FLR. CTR. UNIT = 491 S.F. / 2nd FLR. END UNITS = 480 S.F. (LIVING)

SHEET TITLE: _____

BUILDINGS -B,E,F&G
FIRST AND SECOND
FLOOR PLANS

A-103



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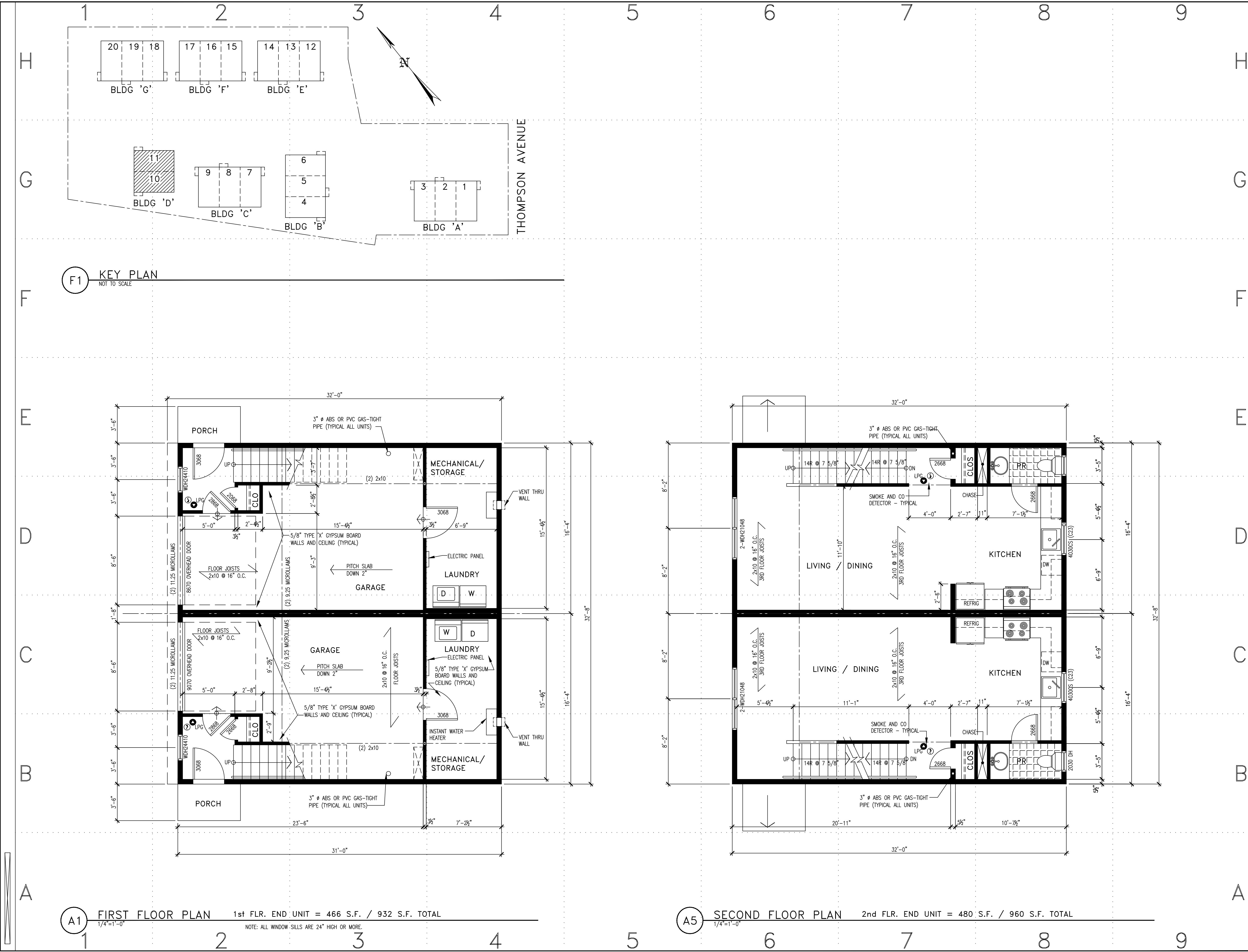
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360 THOMPSON AVENUE
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DRAWN BY:	GDI	
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SHEET TITLE:		
BUILDINGS - B,E,F&G THIRD FLOOR AND ROOF PLANS		
A-104		
SHEET 11 OF 12		



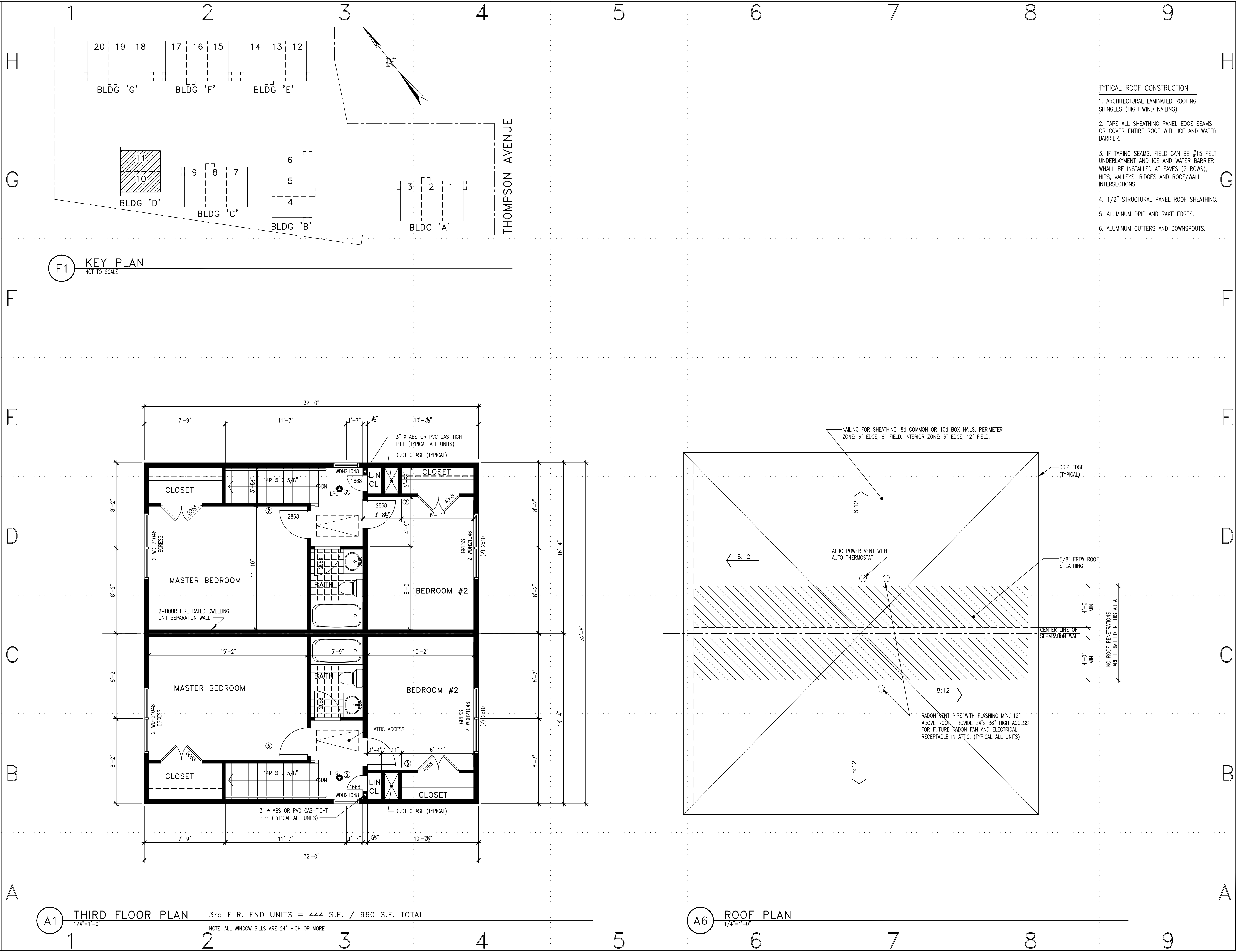
PROJECT:
PROPOSED TOWNHOUSES
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Applicant: John Hall

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CAD DWG FILE:		23048-4A-105.DWG
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BUILDING - D
FIRST AND SECOND
FLOOR PLANS

A-105



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360 THOMPSON AVENUE
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CAD DWG FILE:	23046-A-106.DWG	
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BUILDING - D
THIRD FLOOR AND
ROOF PLANS

A-106

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BUILDINGS A & C
EXTERIOR ELEVATIONS

A-201

SHEET 1 OF 1



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PROJECT:
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Applicant: John Hall

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DRAWN BY:	GDI
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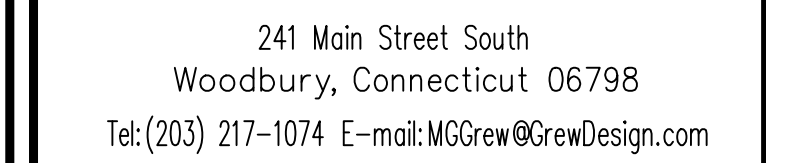
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BUILDINGS - A&C
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A-202

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Applicant: John Hall

[illegible]

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BUILDINGS B,E,F & G
EXTERIOR ELEVATIONS

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SHEET 1 OF 1





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BUILDINGS B,E,F & G
EXTERIOR ELEVATIONS

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BUILDING - D
EXTERIOR ELEVATIONS

A-205
SHEET 02 OF 02



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